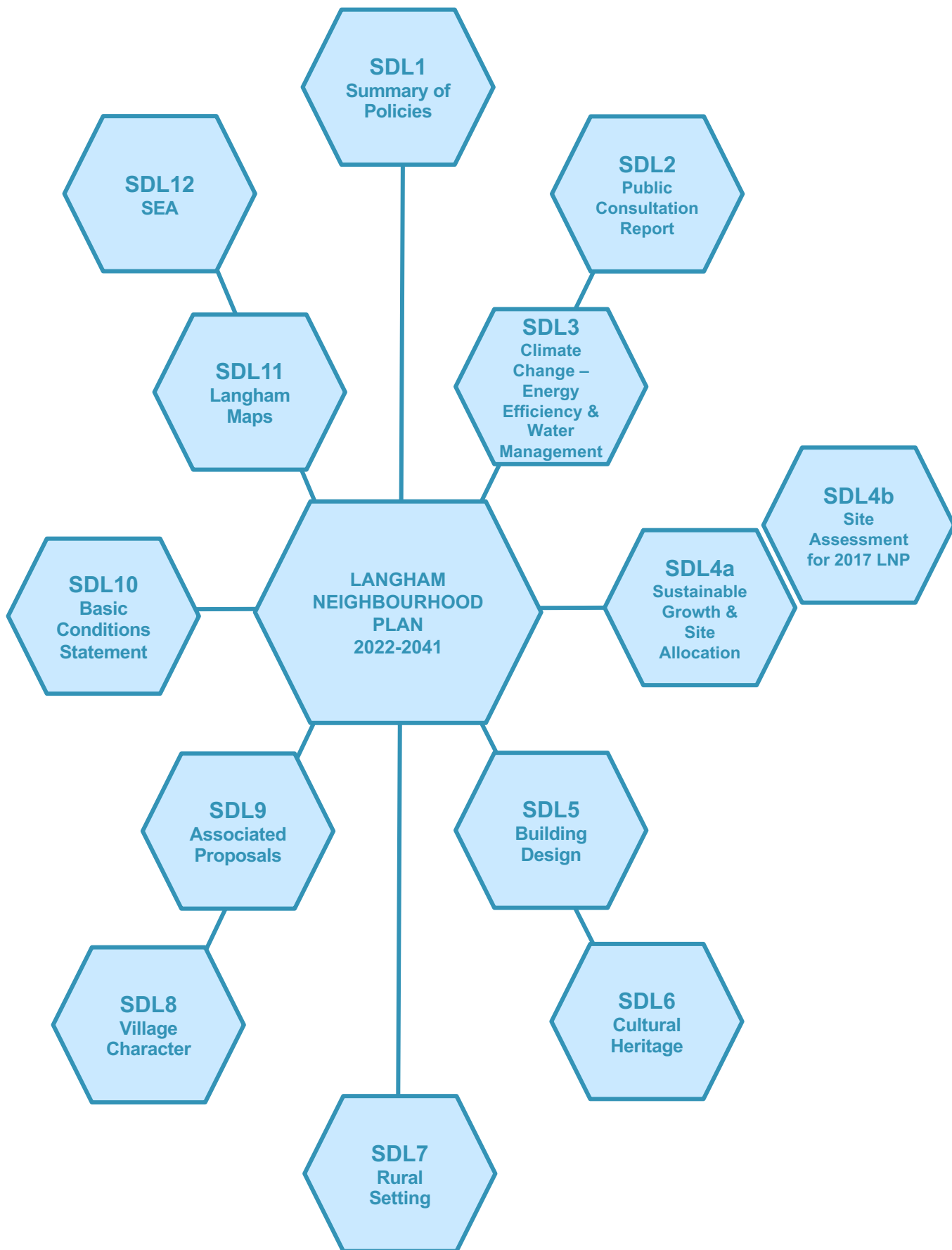




LANGHAM NEIGHBOURHOOD PLAN 2022-2041

October 2022



Langham Neighbourhood Plan (2022-41) and Support Documentation.

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This document has been prepared by a Steering Group, under the authority of Langham Parish Council and with the guidance of Rutland County Council.

Steering Group.

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Our thanks go to all those who gave time, money and expertise to the development of this Plan, and to the entire community for their support and involvement.

October 2022

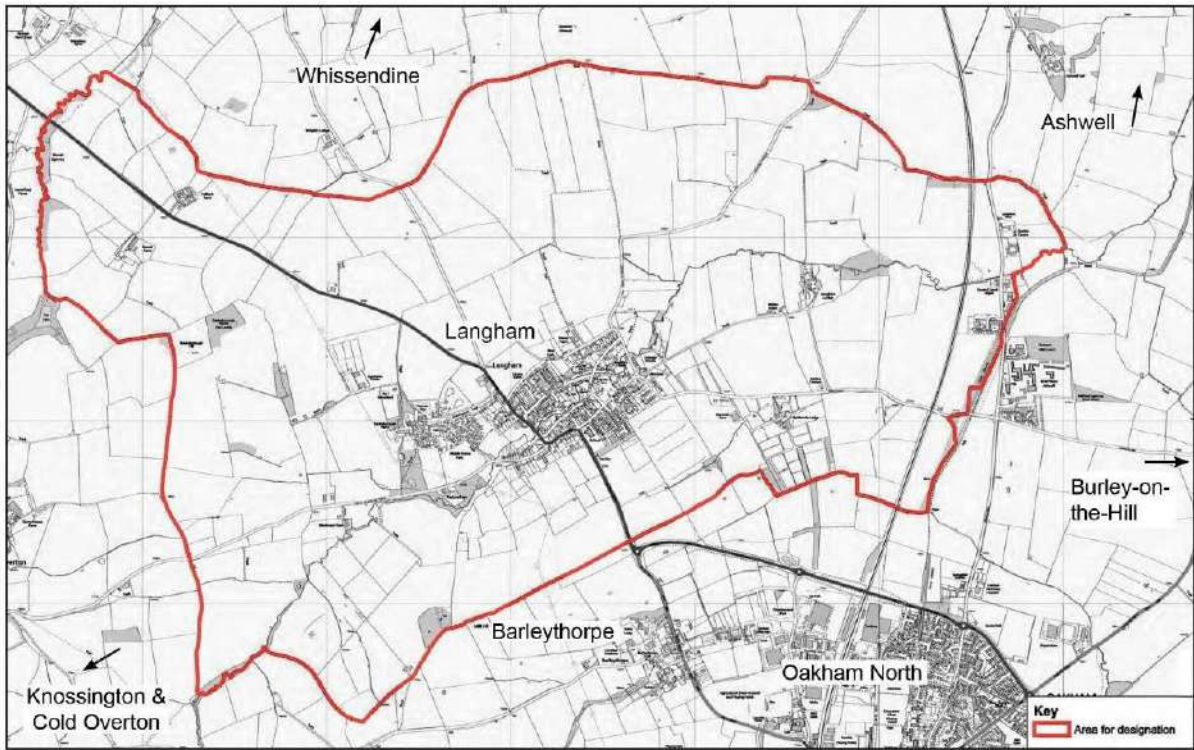


Figure 0.1: Map of Langham Parish showing the extent of this Plan.



Figure 0.2: Map of Langham Village showing Road Layout.

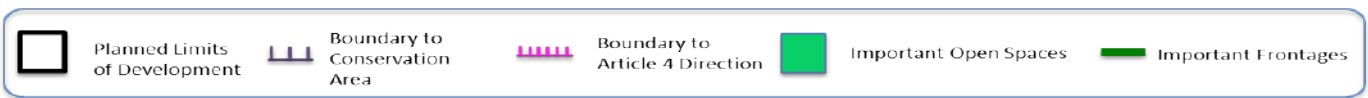
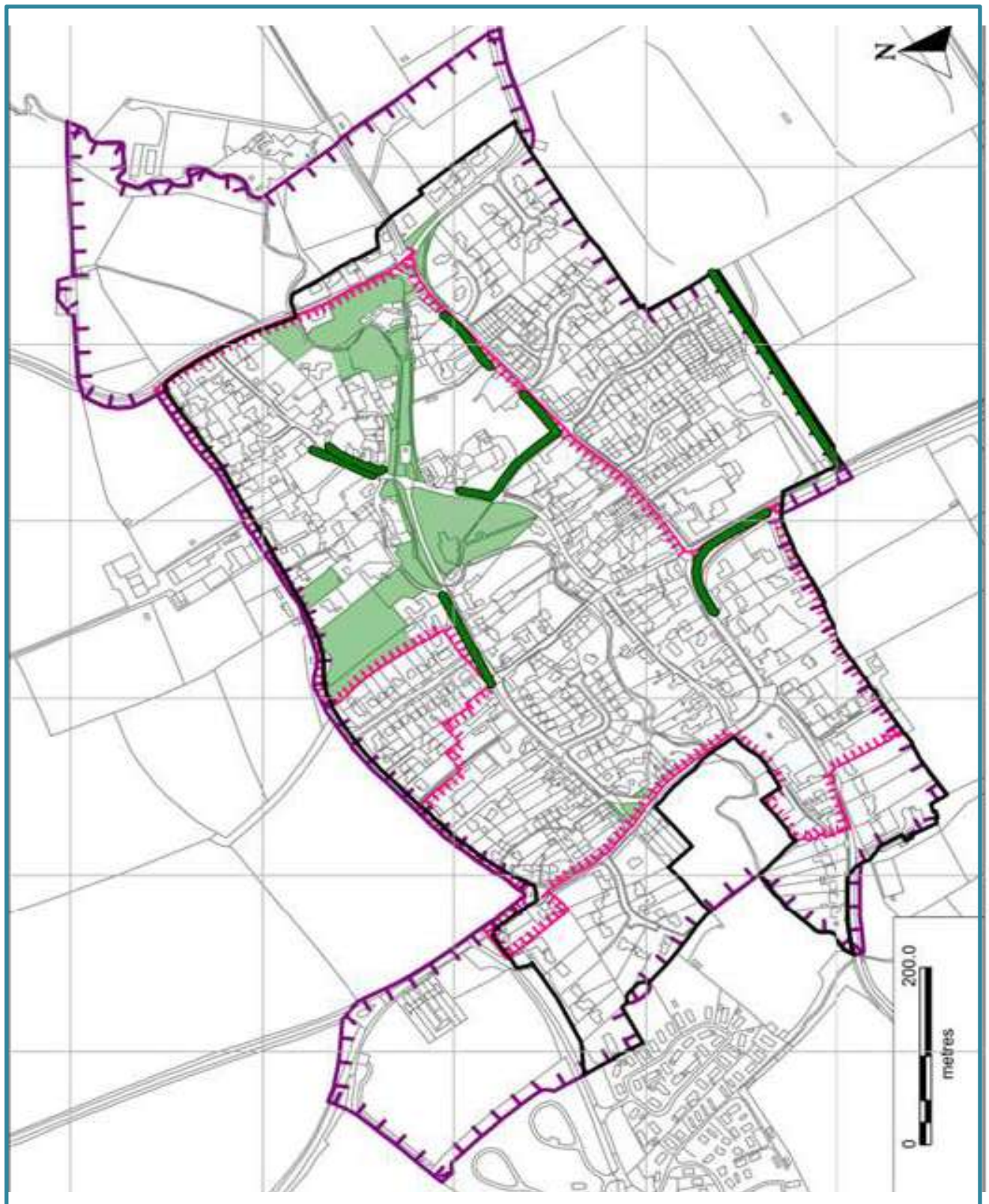


Figure 0.3: Map of Langham Parish showing PLD, Conservation Area & Article 4 Direction.

Foreword.

In reviewing the Langham Neighbourhood Plan, we have been mindful of the alignment to National and Local Planning Policies.

National Planning Policy Framework (NPPF) 2012-2021

The Policies in this Plan are drawn from:

1. the 12 Core Principles and 13 sub headings of the 2012 NPPF;
2. the 2018 NPPF review which emphasises the importance of high quality design, strong environmental protection, the right number of homes in the right place and local ownership of housing delivery;
3. the 2021 NPPF review where design is more clearly described in terms of beauty, place making, the environment and sustainable development.

These NPPF Principles are detailed in Appendix 5 of this Plan.

Rutland Core Strategy 2011 (CS) & Site Allocations and Policy Development Plan 2014 (SAPDP)

The draft Rutland Local Plan 2021 was withdrawn on September 3rd 2021. This means that the most current Rutland planning documents are the Rutland CS and SAPDP. The Policies in this Langham Neighbourhood Plan must align with those in the CS and SAPDP.(see Section 11). However not all of the policies in these plans are as up to date as those in the withdrawn Draft Rutland Local Plan.

Withdrawn Draft Rutland Local Plan (RLP) 2021

Whilst the withdrawal of the emerging Rutland Local Plan was for good reason and the plan is now being re-written, most Policies in that draft will remain relevant and will appear in the new Rutland Local Plan in some form. Furthermore these policies are likely to be better aligned to the 2021 NPPF than the CS and SAPDP. Whilst it is recognised that reference to these withdrawn policies is not required, the Steering Group has chosen to make reference to them as well as to the CS and SAPDP in order to ensure that the policies in this Langham Neighbourhood Plan are seen to look to the future in a way that reference to the CS and SAPDP alone would not allow.

A large proportion of the support documents produced to inform the withdrawn draft RLP are, and will remain, relevant and, where that is the case, they have also been used to underpin the thinking behind the Policies in this Plan (see Appendix 4 of this Plan)

For these reasons the Langham Neighbourhood Plan Steering Group (LNPSG) has taken the decision to cross reference the Policies in this Plan NOT ONLY WITH the Policies in:

1. **the latest reviewed NPPF;**
2. **the Rutland Core Strategy 2011;**
3. **the Rutland Site Allocations and Policy Development Plan 2014;**

BUT ALSO WITH the Policies in:

4. **the withdrawn draft of the Rutland Local Plan 2021.**

All of these cross-references are detailed in Section 11 of this Plan.



Statement of Scope of Review

The original 2017 Langham Neighbourhood Plan covers the period up to 2036 and includes allocations to meet identified housing needs following a comprehensive “Call for Sites” request and subsequent robust assessment process.

Since then permission has been granted to Langton Homes for two developments on Cold Overton Road which will provide a total of 68 new homes.

We have received from the County Council an indicative housing requirement figure for the period up to 2041 to align with this review of our Neighbourhood Plan which will cover the period 2022-2041.

At present, we do not intend to undertake a new Call for Sites but will re-consider this at the next review of the Neighbourhood Plan in 2026/7, potentially looking beyond 2041 and when, hopefully, there will be an adopted Local Plan in place for Rutland.

Langham Parish Council October 2022



LNP 2022 - 2041

1. INTRODUCTION

1. Introduction

(i) Legislation

Localism Act

1. In November 2011 the Localism Act was Introduced, with the aim of devolving more decision-making powers from central government.
2. Its aim was to provide:
 - new freedoms and flexibilities for local government;
 - new rights and powers for local communities and individuals;
 - reform to make the planning system more democratic and more effective;
 - reform to ensure the decisions about housing and infrastructure are taken locally.
2. Through the development of a Neighbourhood Plan (NP) a community will now be able to propose the direction and degree of its own future development.
3. Once a Neighbourhood Plan has been accepted, or 'made', it becomes a legal document that, along with others, informs all future planning decisions that the local county council will make about that particular community.

What is a Neighbourhood Plan?

4. The Plan describes the vision that a Community has for its future. It comprises propositions that the community believes will enable that vision to be achieved. These propositions cover what needs to be developed, how much and in what way, as well as what needs to be protected, to what degree and why.
5. The Neighbourhood Plan is sponsored by the local parish council, pertains to a designated area, and is developed by the whole of the community. It is researched and written by those who live, work or do business in the designated area and is published only after the local county council accepts it as robust enough. The local community then votes to accept it via majority vote at referendum.

6. After this the Neighbourhood Plan becomes a legal planning document that needs to be reviewed at least every five years.

Sustainability and relevance to existing policies

7. Any Neighbourhood Plan must be broadly aligned to two key documents (see Figure 1.1 below):
 - the latest update of the government's National Planning Policy Framework (NPPF); and
 - the local council's main planning document – in Rutland's case, the Core Strategy 2011 (CS) and the SAPDP 2014.
8. According to the Localism Act from March 2013 the Policies in a Local Plan will be weighted according to how they reflect the Policies of the NPPF.
9. It is also recognized that the policies in a neighbourhood plan do not have to duplicate or be congruent with the local council's plan but must not contradict its policies and must align with its strategic vision (data from Localism Act).
10. The Plan must also be a growth plan – one that recognizes that change is inevitable and defines in what direction, and to what degree, that change should take place.
11. The Plan must be sustainable – which means it must meet the needs of the present without compromising the ability of future generations to meet their own needs.
12. Finally, the Plan must be current and will need regular review and updating.



Figure 1.1: Key national (left) and local policy documents (centre & right)

ii) Langham Neighbourhood Plan

Background

1. The first LNP was developed in 2017 to establish a vision for the careful evolution and long-term sustainability of Langham Parish from 2016 to 2036 and beyond. The community and key stakeholders were extensively consulted on a wide range of issues that would influence the well-being, sustainability and long term preservation of our rural community
2. This project was led by a Steering Group comprising volunteers from the community working under the auspices of the Parish Council. The views of the community were gained through public events, questionnaires, personal discussions and written comments. (See original Support Document SD2)
3. The area to be covered by the LNP was officially approved by Rutland County Council (RCC) in December 2013. That area is the whole of Langham Parish as defined by the official parish boundaries. The neighbourhood area remains unchanged and is shown in Figure 1.2.
4. Throughout the original project, which lasted from May 2013 to January 2017, the content of the Plan was tested via key stakeholders such as RCC, Langham Parish Council, neighbouring parishes and the community of Langham,
5. Having now used this Neighbourhood Plan for almost 5 years, an extensive review has been carried out to bring it up to date.
6. This review has considered the updated National and Local Planning documents. It also reflects the current views of the community of Langham, builds on the experience of the Langham Parish Council Planning Team on how best to word policies to ensure no ambiguity, and capitalises on the experience gained from the development of the first LNP.
7. This 2022 Langham Neighbourhood Plan sets out to:
 - identify the main characteristics of, and community issues for Langham Parish today;
 - make sound proposals for the use and development of land;
 - provide the right objectives and policies to enable and support Langham's future development;
 - address key issues about sustainability;
 - provide a realistic Action Plan;
 - the Plan period is 2022 to 2041.
8. It is important to recognise that this document covers much of the time frame of the original LNP, will be reviewed again in 5 years and so this document reflects refinements and not major changes to the original.

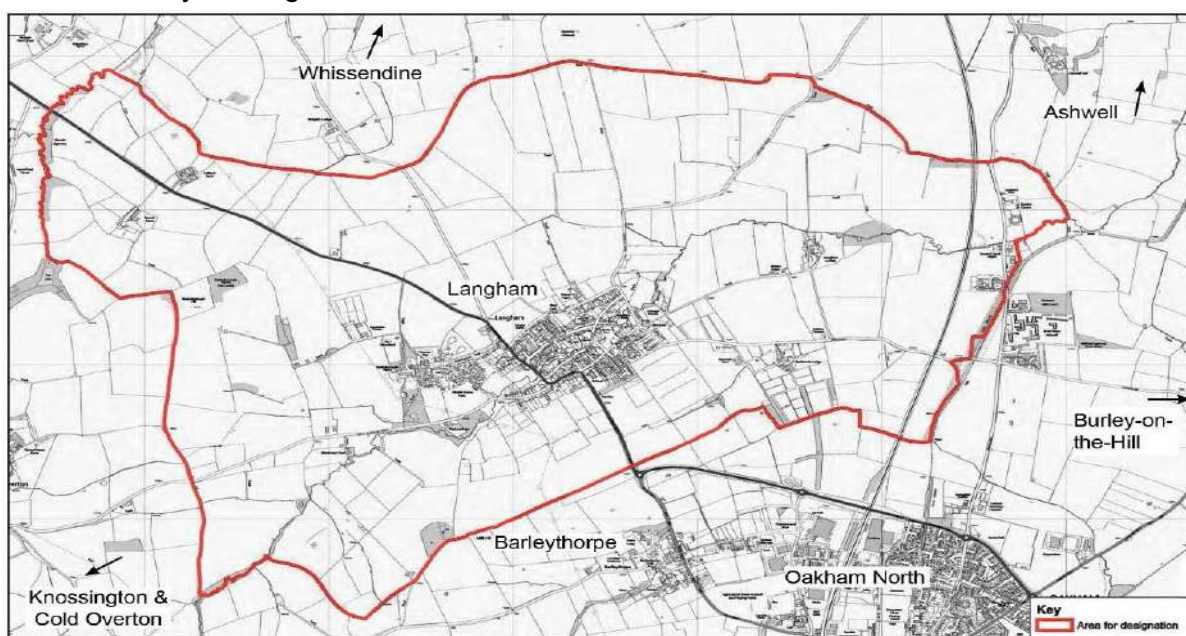


Figure 1.2: Map of Langham Parish and neighbouring parishes

(iii) Langham Past and Present

Langham Parish History

1. Archaeological finds in Langham provide evidence of occupation in Neolithic times, through the Bronze Age and Roman occupation and into the Saxon period. There is no mention of Langham in the Domesday Book of 1086, but it is believed to be one of the five unnamed berewicks of Oakham. The earliest reference to Langham having its own Manorial Court was in 1398.
2. In the Mediaeval period the village was largely defined by two rows of dwellings roughly following the present Well Street and Church Street. The main road from Oakham to Melton Mowbray ran through the village along Bridge Street.
3. The building of the parish church began in the 13th century and went on at intervals throughout the following two centuries. It has been claimed that Simon de Langham, a boy from the village born c. 1310, who became Lord Chancellor, Archbishop of Canterbury and a Cardinal at Avignon, may have funded work on the church. However, taxation returns show that the village and its people generated wealth through the wool trade both in this country and abroad. The church fell into disrepair during the Reformation. In the latter part of the 18th century major repairs were commenced – the nave, aisles and chancel were reroofed and colourful interior designs removed.
4. Until the late 16th century, villagers had the right to cultivate strips of land in the open fields of Langham. These fields were cultivated in accordance with a crop rotation laid down by an annual court. Langham's open fields were not enclosed by Act of Parliament as in many villages, but seem to have been divided up gradually after the Noel family (later to become the Earls of Gainsborough) acquired the manorial rights in 1600. Enclosure started with the land to the east of the village and gradually moved westwards, with the great cow pasture remaining more or less intact until the 1950s.
5. A school is recorded in 1640, probably held in the church, with Forster's charity paying a schoolmaster. In 1841 the Earl of Gainsborough built a British School, and a National School was set up in 1843 by the vicar of Oakham. The site of the National School is uncertain but may have been the building now called Old Hall Cottage (formerly School Row). At some stage the two schools united and, in 1876, became Langham Government Mixed School. Langham Church of England (controlled) School was opened in 1970 on the present site.
6. A largely agricultural way of life continued throughout the 19th century and, unlike many village communities, Langham's population increased. The Midland Railway Company opened its station in Oakham in 1848 allowing wealthy families to take hunting boxes in Langham bringing with them support staff. Other individuals found that they could commute to work in the major cities but take advantage of a country way of life.
7. The 19th century saw much development – the Baptist Chapel was built in 1854, Langham Brewery in 1858 (demolished in 1999) and the Village Institute (now the village hall) in 1891.
8. The Great War was a time of change for many. Almost half the male population of the village enlisted, 18 of whom gave their lives.



Fig. 1.3: Revells Corner, Church Street

9. Land and property in Langham belonging to the Gainsborough Estate was sold at auction in 1926, increasing the pace of change. Change continued throughout the 20th century with additional housing but more people seeking employment outside the village. Langham retained three shops, a post office and three pubs for a considerable time but the village's former self-sufficiency was now in decline.

Thanks to Langham Village History Group
www.LanghaminRutland.org.uk/publications

Langham Parish Today

10. The historical importance of the village of Langham has led to its becoming a Conservation Village with Article Four Direction at its heart. This offers opportunities to preserve its character, but also offers challenges to its managed growth.
11. Langham Parish is bounded to the south by Oakham and Barleythorpe, to the east by Ashwell and Burley, to the northwest by Whissendine and to the west by Knossington and Cold Overton. Langham village is two miles north of Oakham and is surrounded by farmland. (See *Figure 1.4*).
12. The parish extends 3.4 miles west to east and 2.3 miles north to south, with the residential part in a compact rectangular shape. The area of Langham Parish is approximately 1182 hectares (2920 acres) and the latest population estimates give approximately 1460 residents. This number has risen from 1,042 in 2001 and is projected to rise substantially over the next 20 years.
13. Langham is designated as a Local Service Centre which means it is expected to accommodate small scale growth to support its service role through the allocation of sites and infill developments, redevelopment of vacant or previously development land and conversion or reuse of suitable redundant rural buildings.
14. The population of Langham as a whole is older than the national average, with 21% being less than 17 years old, 30% being between 18 and 44, 39% between 45 and 74 years old and 10% being aged 75 or over. Average age for Langham is 43.

15. The percentage of residents rating their health as 'good' is above the national average; also those rating their health as 'very bad' is less than the national average, suggesting that Langham residents feel healthier than most UK communities.
16. The community has health provision in nearby Oakham, with a cottage hospital, a medical practice, a number of dental practices (private and NHS), pharmacies, opticians and specialist physiotherapist businesses.
17. In terms of employment, Langham has 205 more 'Higher & Intermediate Managerial, Administrative or Professional' households than the national average.
18. 70% of homes are owned outright or with a mortgage – again more than the average found nationally.
19. Langham has a large proportion of three-bedroomed homes, most of which are occupied by one or two people.
20. The majority of sales over the past few years were detached properties, selling for an average price of £439,575. Semi-detached properties sold for an average of £336,750, with terraced properties fetching £180,000. Overall, sold prices in Langham over the last year were similar to the previous year and 3% down on the 2017 peak of £401,211.
21. 76% of the working population travel to work by their own motor vehicles, though that number may fall as home-working becomes more popular.

Figure 1.4: The landscape of Langham Parish.



22. There are a number of small businesses in Langham, mostly run from home but also located in designated business units on the edges of the village.
23. Limestone is the predominant building material, with a mixture of Collyweston Slate, thatch and blue slate roofs. More recently there has been more use of ironstone and red or buff brick. Render and wooden cladding are rarely seen.
24. Ranksborough Hall Park, now known as Royale Ranksborough, is situated outside the Planned Limits of Development to the north west of the village. It offers Park Homes for permanent residents as well as holiday lodges. Under new ownership it has expanded over the past few years.
25. There are two privately owned Gypsy/ Traveller sites in Langham with 19 pitches between them – one situated on the A606 out of Langham toward Oakham, and the other to the east of the village at the Langham Junction level crossing on Burley Road, toward Ashwell.
26. The majority of the land in the parish is classified as 'predominantly in urban use'. There are regions of Grade 2 land to the east and the north west of the village where crops are grown. Elsewhere land is slightly less fertile and is predominantly used either to grow less demanding horticultural crops such as oilseed rape or as pasture and paddock.
27. The band of green fields to the south of the village is seen to be a critically important strip of land that separates Langham village from Oakham North. This strip of land is all that prevents Langham from becoming a suburb of Oakham.
28. The main A606 runs through the village providing a link to the towns of Melton Mowbray, Oakham and Uppingham – and thence to other major towns and cities. The A1 is 7.5 miles to the east giving access to the north and south of England.
29. The links provided by the A606 are counterbalanced by the dangers it poses to residents. It cuts the village in half and with its serpentine nature provides minimal safety for those trying to cross it. This fact, along with the escalating speed and volume of traffic, is responsible for most safety concerns – physical and environmental.
30. The narrow village roads, an inheritance from our long history, are difficult to negotiate as more and more homeowners park and use more than one car per household.
31. Langham has 40 listed buildings and structures, including the Grade I listed church of St. Peter & St. Paul, and the Grade II* listed Old Hall.
32. Protection is also afforded some of the parish's ancient hedgerows and significant trees throughout the village.
33. The environmental quality of Langham's landscape is high and landscape varied, from the flat pastures of the Vale of Catmose to the south, to the undulating land to the north and west.
34. Nearby limestone geology is important for wildlife, as is nearby Rutland Water.
35. Some areas of Langham village are at risk of flooding from Langham brook. Some areas in Flood Zone have a 1:100 chance of flooding in any year; Flood Zone 3 areas have a 1:1000 risk.
36. The whole parish is criss-crossed with public rights of way and bridle paths, some of which are of historical interest and value.
37. The village also boasts a village hall, a Baptist church and two pubs - The Wheatsheaf and The Noel Arms.

Figure 1.5: *The Old Hall, Langham*





LNP 2022 -2041

2. VISION & OBJECTIVES

2. Community Visions & Objectives

Having consulted with the community in September 2021, the unanimous view is that the 2017 Vision is still applicable, but we need to mention both the effects of climate change and the embracing of technology.

The new, 2022, Vision reads:

Community Vision for Langham Parish 2022-2041

We will continue to grow, develop and thrive as a parish, meeting the changing needs of the community. We will adapt to & mitigate the effects of climate change and embrace new technology whilst preserving the distinctive character, landscape and setting of the village, which has evolved over centuries.

SUSTAINABLE GROWTH :

Objective SG1: Housing Allocation

- The number of houses built in Langham is consistent with the national and local housing targets whilst ensuring a sustainable rate of growth that still retains the rural character of the parish.

Objective SG2: Meeting Housing Needs

- The housing supply will offer choice to all demographic groups whilst reflecting and enhancing the character of Langham.

Objective SG3: Site Allocation

- Increase in housing of all types, including caravans, will be managed solely via allocation of preferred sites (including Windfall) as detailed in this Plan.

Objective SG4: Climate Change & Flooding

- New developments of any size will be required to mitigate any potential flood risk where required, and to take into account climate change before receiving planning permission.



Figure 2.1: New build on Cold Overton Rd.

BUILDING DESIGN:

Objective BD1: Buildings and Materials

- All new builds or changes to existing buildings adhere to the constraints of the Conservation Area and Article 4 Direction and reflect local construction, style and materials in all circumstances.

Objective BD2: Housing Density & Layout

- The existing housing density is retained when new builds or extensions are being considered in order to retain the open, rural character of the village.

Objectives BD3a & b: Building for the Future

- To ensure new buildings are fit for the evolving needs of the future, both environmental and technological.

Objective BD3c: Energy Efficient Construction

- New homes will be designed and built with a view to reducing the carbon footprint now and in the future by focusing on energy efficiency and water technology efficiency.

Objective BD4: Architectural Features

- Roofs, chimneys, windows, doors and other architectural feature of new and existing buildings match existing and are sympathetic to neighbouring properties.



Figure 2.2: Grade II listed Gatehouse to Old Hall.

CULTURAL HERITAGE:

Objective CH1: Conservation Area

- All development in the Conservation Area will preserve or enhance the character and appearance of the local area.

Objective CH2: Sites of Historical Importance

- To protect and preserve the heritage of the parish by ensuring that the land, buildings and structures of historical significance are conserved for future generations.

RURAL SETTING:

Objective RS1: Landscape Character

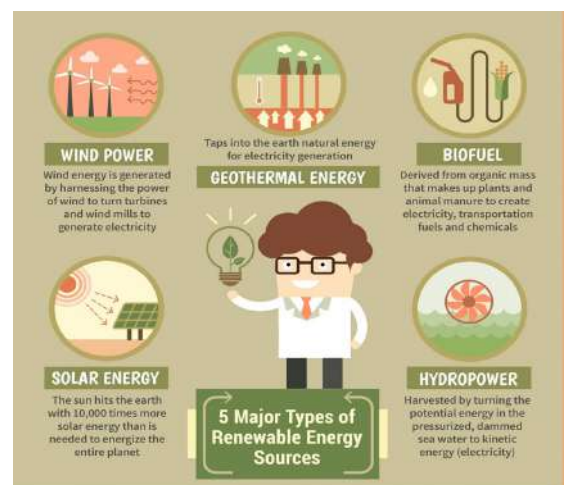
- The views, landscape character and rights of way that define Langham Parish are preserved and protected against any and all development.

Objective RS2: Development in the Countryside

- To conserve and protect the rural setting of Langham by ensuring there is no development in the open countryside outside the village Planned Limits of Development except in those sites named in this Plan.

Objective RS3: Energy Generation in the Countryside

- Solar farms and other energy generating developments will be encouraged only if they are also seen to make a positive contribution to the parish.



Objective RS4: Green Separation Zone

- To preserve the distinct identity of Langham by protecting a Green Separation Zone between Oakham North and the southern village boundary and prohibiting any and all development in that area.

Objective RS5: Biodiversity

- To maintain and improve the biodiversity of Langham for future generations by protecting and managing natural habitats, particularly those areas specified in this Plan.



Figure 2.4: Bench and planter outside Village Hall.

VILLAGE CHARACTER:

Objective VC1: Important Open Green

Spaces

- To preserve the rural character of the village by ensuring that no development will impinge on the identified Open Green Spaces and Frontages or block or otherwise obscure important views across and within the village.

Objective VC2: Gardens and Verges

- The verdant appearance of the village is maintained for future generations by giving protection to those features whose amenity value most define it – the trees, hedges, front gardens and verges.

Objective VC3: Street Character

- Changes to Langham village due to growth and improvement will only add to or enhance the character of the village today.



Figure 2.3: View from the Ranksborough Hill



LNP 2022 -2041

3. KEY ISSUES

3. Key Issues

1. The issues Langham faces as a community remain, to a great extent, unchanged although the degree of importance attached to each may have changed somewhat.
2. There are things that the community want to add or grow, others that need to be improved and yet others needing protection and enhancement.

GROW:

- Everyone recognises that growth is an important part of the survival of any community, but that growth must add to the Parish and not take away from it. There is a desire for additional homes that will encourage people of all ages and demographics to remain in, or to come to, the Parish. However, people want those new homes to be placed in well chosen locations and to add to, rather than conflict with, the character of Langham.
- There are few bungalows available in the village that are of a size that allows those from larger homes to downsize whilst keeping their goods and chattels. Many folk wish to stay in the village but feel the 3 or 4 bedroom home in which they brought their family up is too large.
- The number of younger families in the village needs to grow in order to prevent Langham from becoming just a home for the elderly. Yet there are insufficient affordable homes either to allow young adults, brought up in the village, to buy or rent a first home here, or to provide affordable housing to attract young families.

IMPROVE:

- Traffic is a problem in Langham, as in many other places. Most residents find the A606, which now carries all traffic between Oakham and Melton Mowbray, dangerous to drive on, cross and walk beside. People are fearful for the safety

of their children when trying to cross the A606; the volume and speed of the traffic seems to be increasing exponentially, and the size of vehicles trying to negotiate the serpentine nature of this road leads to many near misses with pedestrians on pavements.

- The roads in the village, which have evolved over centuries, are very narrow and, with the increasing number of parked cars, are becoming more and more so. Despite weight restrictions through the village on these smaller roads, the increased volume of traffic causes congestion at busy times. It would take quite radical thinking to solve this problem.
- Broadband speeds and accessibility are becoming much higher priorities for many. There is an ever - increasing number of people working from home, either full time or part time. More people are setting up businesses that they can run from home with the right technological support. And more and more people, who are somewhat isolated because of age or incapacity, are learning about, and becoming more dependant on, access to social media and internet connection.
- The energy crisis and climate change affects everyone. As a village Langham could perhaps do more to contribute to the solution – by better insulating existing and new homes, ensuring the use of energy efficient heating systems, making it easier to use electric cars and so on. But, as with most problems, the solution is not straightforward – better and cleaner generation of energy will always take away from the beauty of the landscape and the views and footpath walks to be found there – this is a difficult balance to strike.
- The infrastructure of Langham, doctors surgery, sewage works, schools etc are already under strain. Any increase in housing must first ensure that the fragile infrastructure is strengthened to cope.

PROTECT:

- The greatest concern for the community is that Langham will become a suburb of Oakham. Over the years Barleythorpe Village has disappeared and is now part of 'Oakham and Barleythorpe'. Slowly there is more and more development north of the Burley Parkway – at present much is on land owned by Rutland Agricultural Society but there is concern that commercial and residential development there will spill over the parish boundary into Langham. There is the potential for more development in the land to the north of Barleythorpe that abuts the parish boundary south of Cold Overton Rd. Without any protection between the Planned Limits of Development of Langham Village and the parish's southern boundary, infill development will take place and Langham will become part of Oakham, Barleythorpe and Langham – perhaps to be re-labelled Oakham North? This is why a critical demand of the community is to protect the land between Oakham and the PLD of Langham from any and all development.
- It is clear from maps of Langham that a significant proportion of the population lives outside the PLD in a residential retirement community at Royale Ranksborough Hall Park. Here, some 120 Park Homes accommodate over 150 residents aged over 50. They have chosen to purchase homes here precisely because it is a retirement community, away from housing where they feel safe and calm, away from the noise of young families. The combination of an increase in the demand for housing and the minimal control over development due to the loss of the emerging Rutland Local Plan cause great concern for this community and a way needs to be found to ensure that the tranquility that they spent their life savings on is not destroyed by having family homes just over the hedge-line.

- The Conservation Status of the village is something that, in principle, most people want to protect as it offers protection to the much valued rural and historic character of Langham and its setting. However, with such protection comes more stringent control over improvements homeowners wish to make.
- Many people move into homes where trees have been allowed to outgrow their location, or where they have become overgrown and diseased. This leads to loss of too many trees in the village. So there is a need to help homeowners recognise their responsibility to the trees on their land, most particularly those with amenity value, in order that they are managed for the enjoyment of future generations rather than felled due to neglect or lack of botanical knowledge.

ENHANCE:

- People in Langham value the peace and beauty of the countryside. The threat that development poses is well understood; less so is the threat posed should we stop looking after it. The views, the trees, the Rights of Way, the brook, the canal, the green spaces, the biodiversity – all need to be maintained, cared for, worked on and enhanced. And much of that is down to the residents with the support of the Parish Council..
- Langham has a long and fascinating history and boasts many listed buildings and structures of which the community is justifiably proud. Owners of these homes take seriously their responsibility towards this heritage.
- The community accepts growth is necessary but that growth must be managed in order that the village character, setting and history are not lost whilst Langham looks to embrace the future and all it offers.



LNP 2022-2041

4. SUSTAINABLE GROWTH

4. Sustainable Growth

Housing Allocation

Objective :

The number of houses built in Langham is consistent with the national and local housing targets whilst ensuring a sustainable rate of growth that still retains the rural character of the parish.

1. Housing is the most significant use of land in any urban parish or village. It has the biggest impact on character and appearance, helping to define the area's distinctiveness.
2. The government has set out its ambition to provide some 300,000 new homes per year. We understand that this translates to 2,600 houses over 19 years across Rutland between 2022 and 2041.
3. Over the coming years the majority of development in Rutland will be divided between the two major towns of Oakham and Uppingham, with Oakham taking the lion's share.
4. This puts pressure on neighbouring Langham, whose southern parish boundary abuts the showground and sports fields that form part of Oakham's northern development.
5. Langham, along with nine other Local Service Centres (LSC), is expected to contribute 20% of Rutland's new housing stock.
6. With an additional 10% buffer, this brings the total requirement for Langham, over the period of this plan, **to 51 new homes** (see Support Document SDL4a for details, evidence and calculations).
7. Historically windfall (unplanned) housing has added one house per year to Langham's housing. However, over time there are fewer gardens of a size to accommodate a house and fewer brownfield sites within the Planned Limits of Development to come forward for new housing.
8. For this reason the Parish Council estimates that windfall will provide only 15 houses over the Plan period.(see SDL4a)
9. As such, there is a requirement to plan for 36 additional houses.
10. Planning permission was granted in 2022 for 18 dwellings on a site to the north of Cold Overton Rd. (2020/0380/OUT). This was a preferred site in the made neighbourhood plan (LNP06).
11. More recently the County Council has also granted planning permission for 50 homes on Cold Overton Road (2021/1423/MAO) subject to a Section 106 agreement. This was not a preferred site in the made neighbourhood plan (LNP05).
12. In these circumstances any further housing development in Langham should be limited to small windfall sites. Historical data suggests that windfall sites will deliver about 15 dwellings over the life of the plan. Policy SG3 of this Plan identifies two small infill sites within the Planned Limits of Development.

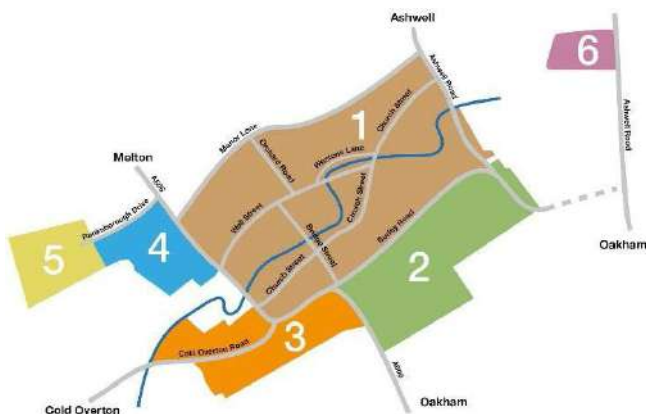


Figure 4.1: Main settlement areas of Langham

Policy SG1: Housing Allocation

In order to provide proportionate and controlled growth for Langham in line with government and local housing targets, the neighbourhood area will provide a minimum of 51 dwellings within the Plan period

Relates to CS3; CS9

13. The population of Langham has increased from 1400 in 2017 to 1493 today. Extrapolating to 2041 (see SDL4) gives a population of around 1600 by 2041.
14. This aligns well with our indicative number of 47 houses + 10% (ie. 51 houses) over the period of this Plan.
15. For a village to retain its character and for the infrastructure to cope, any growth must be proportionate and managed. Any explosion in growth would fundamentally change the character of Langham, so it is important that we manage a steady and well planned growth over the next 19 years and refuse any unplanned large development.

Meeting Housing Needs

Objective:

The housing supply will offer choice to all demographic groups whilst reflecting and enhancing the character of Langham.

1. By 2041 Rutland's population is projected to increase by almost 10%, with fewer dependent children and working age adults, but almost a 50% increase in 65- to 84-year-olds.
2. In the ten years between 2001 and 2011 there was an increase in the population of over-55s and a drop in the number of those aged between 30 and 59. This trend is expected to continue.
3. It is recognised that the projected decline in the number of younger age groups will require positive action in terms of the availability of suitable, affordable housing so that the mix and sustainability of village life is not compromised.
4. Langham is seen to have an above average number of elderly residents which means that we must plan to accommodate their needs in the future. Smaller homes, 2 storey and bungalow, with fewer bedrooms but with larger floor space and doorways are much needed to allow people to remain in Langham whilst they down-size.

Langham Housing Allocation 2022-2041	
Indicative requirement	47
+ 10% buffer	51
Expected Windfall	15
----- Commitments	18
----- Number houses to be planned for	18
Langham Total	51

Figure 4.2: Langham Housing requirement 2022-2041

5. There are few accessible homes in Langham, whether bungalows or adapted houses, and we need more. In new builds, consideration must be given to adaptations such as sloped paths to front doors, accessible bathrooms and kitchens for those with walkers or in wheel chairs, stairs wide enough to take a stair lift etc in order to provide homes fit for purpose for this demographic group
6. It is also important to look at ensuring that elderly and less-able can access the village amenities – all of which are situated on the east side of the A606. This means that development to the west must include safe and accessible routes to and across the A606.
7. We are fortunate to have a settlement to the north west, on the outer edges of the PLD called Royale Ranksborough Hall. This is a community of permanent residential Park Homes exclusively for the over 50s, most of whom are retirees. There are, intentionally, no children on this development and the site was originally chosen precisely because it was away from any development where children and their associated noise levels would not disturb the quiet community.
8. As more sites are considered for development and with the threat of Presumption in Favour of Development hanging over our parish, we need to protect this community from the noise and disturbance that they moved to

Ranksborough to avoid. To that end we propose a buffer zone around this community where building is banned and people cannot go.

9. A second demographic group that needs to be considered is that of young adults and young married couples. They may be born and raised in Langham, or they may want to move here, but if there are no houses that they can afford – rentals, buy-to-rent, mortgage assisted etc. - then these demographic groups will reduce even further in number, to the detriment of the community mix.
10. A recent survey by the CPRE and reported in their October 2021 document 'Outpriced and Overlooked – Survey of Why Young People Feel Forced to Leave Rural Areas' showed that, of the 1000 young people surveyed, 72% of those living in rural areas say affordable housing is their top concern. 84% of those who want to leave say that affordable housing is an important factor in their decision.
11. This Plan supports the government stipulation that for developments of 10 houses or more, 30% must be affordable. However we would go further and would require this consideration to start with a development as small as three homes.
12. In order to determine the mix of housing required in Langham, an analysis was carried out with reference to the National Census and to the Rutland Strategic Housing Assessment 2019 and detailed in Support Document SDL4a, Sustainable Growth and Site Allocation.
13. A third demographic group is that of the Gypsy and Traveller community who have been part of the Langham community for some years.
14. There are two sites in Langham – one on Oakham Road (The Paddocks) and one beside Langham Junction railway crossing (Traveller's Rest).
15. Between these two there are 9 pitches accommodating 19 caravans – static or travelling. The number of caravans on these sites goes up periodically through the year such as at Christmas but return to the above number within the required timeframe.
16. As with any other community, when the children become adults they may wish to set up home close by. Permission was given to those who live at The Paddocks to double their number of pitches from 4 to 8 ie., from 8 caravans to 16, to accommodate just this situation.
17. The NPPF refers to the Planning Policy for Traveller Sites, August 2015 which states in point 25 '*Local planning authorities should very strictly limit new traveller site development in open countryside that is away from existing settlements or outside areas allocated in the development plan. Local planning authorities should ensure that sites in rural areas respect the scale of, and do not dominate, the nearest settled community, and avoid placing an undue pressure on the local infrastructure*'.
18. It goes on to say '*Planning law requires that applications for planning permission must be determined in accordance with the development plan, unless material considerations indicate otherwise*'.
19. RCC stipulates in its Core Strategy, and states in its Gypsy and Traveller Accommodation Assessment, that expansion of these communities will be within existing sites.



Figure 4.3: Housing is needed for all ages, abilities and demographic groups.

Policy SG2: Meeting Housing Needs

As appropriate to their scale, nature and location, development proposals consisting of three or more dwellings should provide a range of house types, sizes and tenures to meet the general and specialist needs for housing in Langham, including the following demographic groups:

- a. the elderly, who may need smaller homes and bungalows where adaptability, accessibility and energy efficiency are paramount;
- b. families who require larger homes to meet changing household needs;
- c. those who need high quality but affordable homes to enable them to live/work locally;
- d. those who need support to acquire a home and may choose to have rental accommodation;
- e. those whose physical ability requires a high level of accessibility throughout the home.

Relates to CS2; CS4; CS7; CS10; CS11; SP9

Site Allocation

Objective:

Increase in housing of all types, including caravans, will be managed solely via allocation of preferred sites (including Windfall) as detailed in this Plan.

1. The supporting text associated with Policy SG1 has set out the progress that has been made in relation to the delivery of the strategic growth target for the neighbourhood area.
2. In these circumstances this policy continues the approach set out in the made plan with regards to the allocation of land at Manor Farm (LNP01) and at Mickley Lane/Burley Road (LNP03) for residential development.
3. Both site are within the Planned Limits of Development and the Parish Council is satisfied that, with good design, their development can be satisfactorily accommodated in the village.
4. Owners of the sites have been approached and asked to confirm their continued intention to develop their land within the Plan period.
5. Details of this process, and the process used in 2017, can be found in support document SDL4a Sustainable Housing and Site Allocation.








KEY	
	LNP01 and LNP03 Supported Development sites within PLD
	LNP17 Supported Business Development Site
	LNP05 Permission given for 50 homes
	LNP06 Permission given for 18 homes
	Green Separation Zone

Figure 4.4 Location of sites for development as described in Policies SG1 and SG3.

Policy SG3: Site Allocation

Proposals for residential development on sites LNP01 and LNP03 (as shown on Figure 4.4) will be supported.

Proposals for small business units on site LNP17 (as shown on Figure 4.4) will also be supported.

Relates to CS2; CS4; SP1; SP2; SP15; SP21

Climate Change & Flooding

Objective:

New developments of any size will be required to mitigate any potential flood risk before receiving planning permission.

1. The risk of flooding due to high rainfall raising river levels (fluvial flooding) and water run-off from the surrounding land (pluvial or surface water flooding) is highlighted in the Rutland Strategic Flood Risk Assessment (RSFRA)..
2. The brook running through Langham is valued by the residents but it is this feature that creates Flood Zones 2 and 3 throughout the parish.



Figure 4.5: Flooding in Langham: Well Street looking northeast from the church.

Table 4.1: Flood Zone definitions.

FLOOD ZONE	DEFINITION
Zone 1	Land having a less than 1 in 1,000 annual probability of flooding.
Zone 2	Land having between a 1 in 100 and 1 in 1,000 annual probability of flooding.
Zone 3	Land having a 1 in 100 or greater annual probability of flooding.

3. The SFRA update paper was published in April 2020 which provides up to date evidence. All maps can be accessed on the Environment Agency website.
4. Any developer looking to build in Langham must look to mitigate any flood risk, actual and potential, that the site faces.
5. Similarly, they must be able to show that there is either no chance of their development increasing the flood risk of areas nearby or downstream, or that they have mitigated that risk also.
6. As a result, any development, in accordance with NPPF paragraph 162, should not be permitted if there are reasonably available alternative sites in areas with a lower risk of flooding. The Sequential Test establishes this.

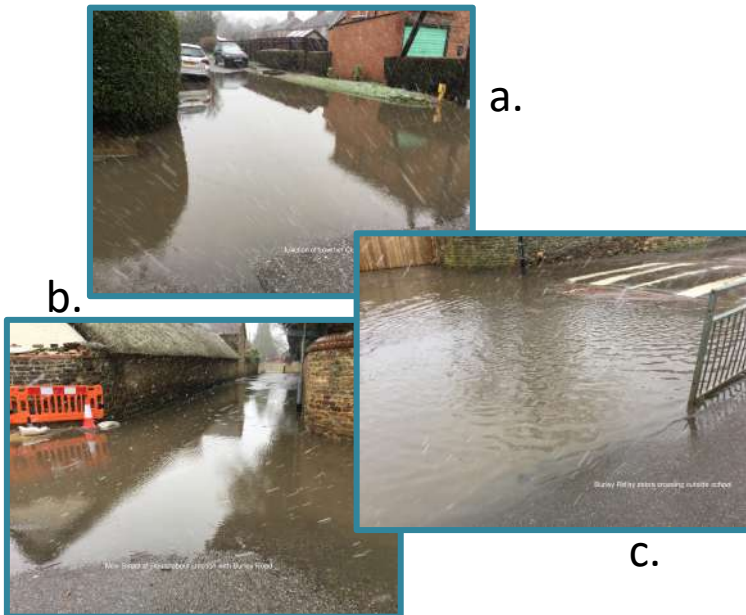
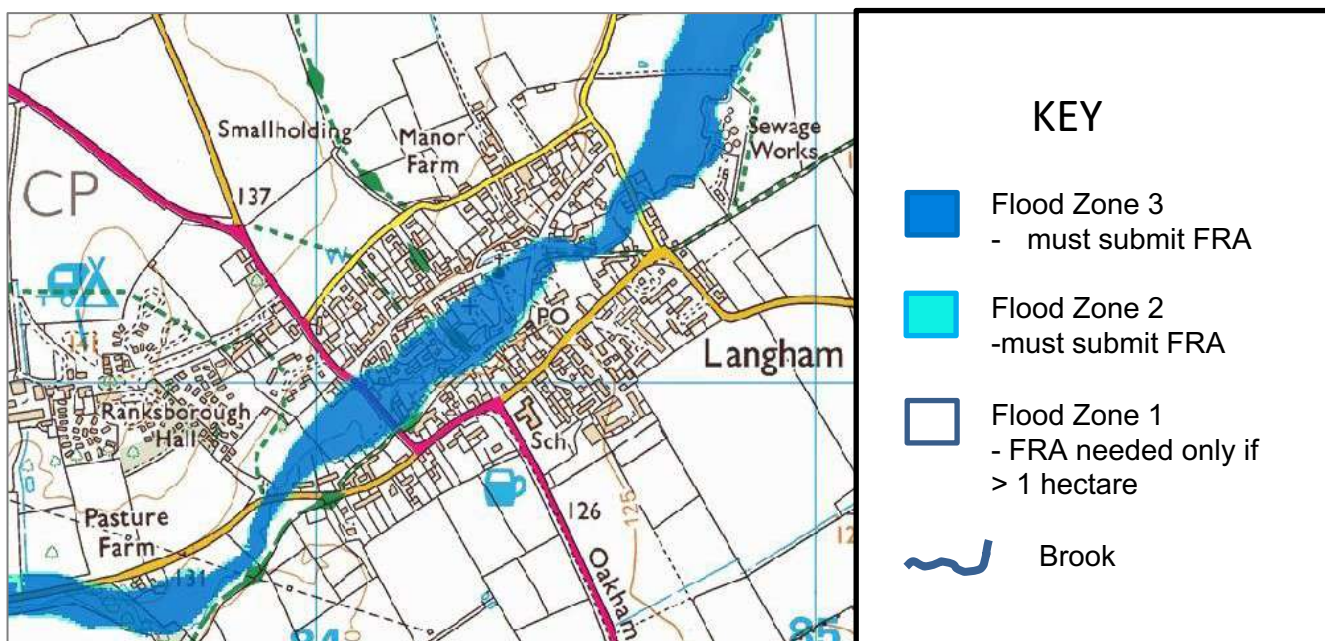


Figure 4.6 Flooding 2021: , a, Junction of Lowther Close and Burley Rd. b, Burley Rd. and g, New Street.

7. Any new development has the potential to overload Langham's aged sewerage system and sewage works. Developers must show how they have mitigated against such a possibility in their Design and Access Statement.
8. When any land is offered for development, it must meet all the criteria defined in the Policies of this Plan.

Figure 4.7: Flood Map



Policy SG4: Reducing Flood Risk.

As appropriate to their scale, nature and location, development proposals should be designed to eliminate, avoid or mitigate flood risk as follows:

- a. development is located in the areas of lowest flood risk as defined by the Environment Agency(EA);
 - b. a Flood Risk Assessment is carried out for:
 - i. Flood Zones 2 and 3,
 - ii. Flood Zone 1 of area >1 hectare,
 - iii. an area known to have experienced flooding from any flood source, including critical drainage;
 - c. the development will not increase flood risk elsewhere;
 - d. run-off post development must not exceed pre-development rates for all storm events - to include 1% Annual Exceedance Probability and climate change allowance (see EA guidance).
- Where development proposals are located in Zones 2 or 3, the following opportunities to mitigate or reduce flood risk should be actively incorporated in their design:
- a. amendment of layout;
 - b. relocation to area of lower flood risk;
 - c. restoration of functional flood plains & flood flow pathways;
 - d. identifying, allocating & safeguarding open space for storage of flood water;
 - e. designing housing that will minimise the impact of flooding. *Relates to CS19; SP1*



LNP 2022-2041

5. BUILDING DESIGN

5. Building Design

Building Materials

Objective:

All new builds or changes to existing buildings adhere to the constraints of the Conservation Area and Article 4 Direction and reflect local construction, style and materials in all circumstances.

1. The NPPF makes clear that creating high quality buildings and places is fundamental to what the planning and development process should achieve.
2. The National Design Guide, 'National Model Design Code and Guidance Notes for Design Codes' illustrates how well-designed places that are attractive, healthy, greener, enduring and successful can be achieved in practice.
3. South Kesteven and Rutland have worked together to produce a Design Guide to help all communities in Rutland to do just this, and we have leant heavily on this document to guide our thinking.
4. The character of Langham is formed by many things, its heritage, its setting, the look and feel of the street scene and front gardens, green spaces and trees. No factor plays a bigger part in this character than the form, design and layout of the houses.

Materials over the years

1. Langham is a village of diversity in architectural style, but the essential nature of the village is defined by the buildings and structures along Church Street, Well Street and Burley Road, reflecting the origins of the village as a settlement which followed the line of the Brook.

2. The village contains 40 listed buildings with the major visual impacts being the Parish Church of St Peter and St Paul, the Manor House, the Old Hall and Langham House. (see Section 6 Cultural heritage)
3. The large mediaeval church, principally of the late 13th - mid 14th century, is mostly ashlar faced and is set within a spacious churchyard with a random rubble sandstone wall for its boundaries. It offers an open view from many parts of the village, provides a valuable open space at the centre of the village and is the feature most valued by the residents.
4. On Church Street there are 3 large listed buildings. The Manor House dates from the early 17th century and is of a coursed rubble construction with a Collyweston roof. The Old Hall, with its earliest construction dating from 1665, is ironstone rubble coursed and squared with sandstone dressing and stone tiled roof. This was extensively added to in 1925-1930, including its imposing gatehouse. The third is the Old Vicarage on Church Street..
5. Brookside Cottage on the north side of Burley Road dating from the late 16th century is a coursed rubble house of modest proportions and scale under a thatched roof. Most of the other listed dwellings dating from the 17th, 18th and 19th centuries, are two storey, flat-fronted and constructed mostly of local coursed ironstone rubble with thatch or slate roofs.



Figure 5.1: *The Gatehouse at Old Hall, Church Street*

6. Good examples of surviving thatched roofs are to be found at No. 1 Weston's Lane, and on Burley Rd at Langham Cottage and the old Rutland Vintners. They have proportionate small-paned casement windows under timber lintels with upper storey windows close to the roofline or else dormers. Chimneys are on the gable ends, usually topped with brick and with yellow clay chimney pots. Other examples of interesting buildings are Cotton Cottage and the Old Vicarage (both on Church Street), and the terraced cottages at the west end of Well Street.
7. The development of the village has taken place gradually over a considerable period. This is reflected in the diverse architectural styles and in particular the listed buildings that are distributed throughout the village.

NB: See list on p.47 Section 6 Cultural Heritage

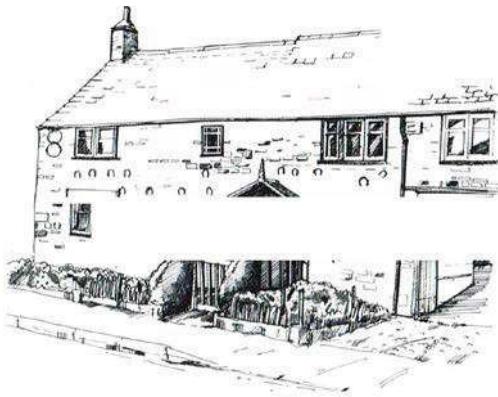


Figure 5.2: *The Old Forge, Well Street*

8. Langham House dates from the 18th century and is constructed of coursed square rubble with cornerstones (quoins) and a stone tiled roof. It has links with the Earl of Gainsborough, was once a hunting lodge and then a nursing home and has now been sympathetically converted into separate dwellings, retaining a fine segmental headed traceried window in the side elevation.
9. Later buildings were created in a simple style, predominantly of red brick under slate roofs. The Limes on Burley Road is a particularly fine example of this type along with the Village Hall and the cottages in Briggins Walk.

10. Some houses were constructed in Flemish bond with the decorative effect of alternate blue and red bricks such as the cottage on the corner of Church Street/Bridge Street and another opposite the Noel Arms.



Figure 5.3: *Flemish Bond on Church St.*

11. Whilst there is a diversity in architectural style throughout the village, its essential nature is defined by the buildings and structures along Church Street, Well Street and Burley Road, reflecting the origins of the village as a settlement which followed the line of the Brook.
12. The principal building materials are ironstone and red or buff coloured brick. Some older buildings such as the Old Post Office and The Wheatsheaf are rendered but these are the exception and mostly the buildings are of brick and stone.



Figure 5.4: *Cotton Cottage on Church Street*

13. Cotton Cottage is an example of the harmonious mixture of materials typical of several other buildings in the village. Here the ironstone-coursed rubble walls are laid in alternating large and small courses with angled limestone quoins. The fine gable and axial stacks are of moulded limestone and the roof is part thatched and part grey slate.

14. Some buildings are a mixture of materials that can sometimes indicate their history. For example the 18th century Old Vicarage is primarily a coursed ironstone rubble building with a wing that has a second storey of red brick. Ivey House on Bridge Street may have been formerly two dwellings and is a mixture of rubble and brick, with a Welsh slate roof.

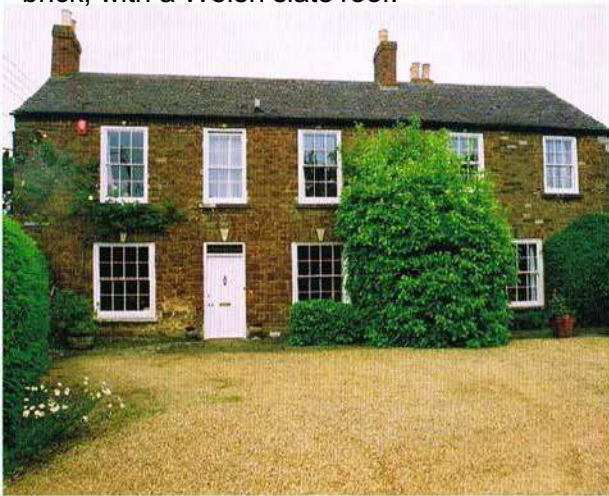


Figure 5.5a: Front view of Old Vicarage on Church St.



Figure 5.5b: Side view of Old Vicarage on Church St.



Figure 5.6: Yew Tree House entrance on Burley Rd

15. The conversion of 19th century stables into a dwelling at Yew Tree House on Burley Road has achieved an attractive blend of texture and tone by respecting historical references to the neighbouring properties. The new entrance to this property has retained the ironstone wall with rounded red brick copings and brick piers and is a good example of diverse materials being successfully incorporated into a modern alteration that respects its surroundings.
16. Beyond the central area the village has grown rapidly in the 20th century and buildings here represent a variety of styles and materials of construction, sharing only (in the main) the simple lines, modest scale and small groupings of the older parts of the village. Here, brick predominates and there are several modern small terraces such as those on Melton Road, semi-detached properties on Lowther Close, as well as bungalows and detached houses.
17. Developments such as the Sharrad Way/ Harewood Close area, The Range, Orchard Road and Lowther Close have used buff coloured brick and grey textured roof tiles that fit well with local ironstone and should be accurately matched in any subsequent extensions.
18. Despite this somewhat random mixture of styles there are examples of sympathetic development in keeping with the history and character of Langham. The open plan frontages of Sharrad Way, Harewood Close, Grange Close and The Range have continued the style of broad street vistas. These create a welcome feature, especially at road junctions, and should be retained.



Figure 5.7: Grange Close

19. There is much to commend the development of the former Ruddles Brewery site to housing, including the use of red brick with replica slate roofs and the proportionate scale of the windows and doors. However, the height and size of the buildings are not sympathetic with the surroundings and future development should place more emphasis on scale. In some of the houses the garage entrance dominates the front elevation, giving it a harsh tone. The stone wall frontage is another example of inappropriate scale and style.



Figure 5.8: Ruddle Way

20. The small modern terrace on Harewood Close reflects the simple lines and sense of enclosed space of nearby older building groups and incorporates a feature stone wall similar to the wall stretching along the opposite side of Burley Road.

21. Some recent housing developments on infill sites have featured large houses on small plots with decorative features more suited to an urban environment, such as the most recent development of 3 houses where once was number 6 Cold Overton Rd. It is disappointing that wooden cladding was permitted for the garage on the property closest to the main road which is not typical of Langham and should be discouraged. Developments should be designed to reflect the simplicity and rustic style of the characteristic central area of Langham. Particular emphasis should be placed on design sympathetic to the surroundings, appropriate scale which blends with the environs and preservation of existing village features such as walls, grass verges, hedges and mature trees.
22. There is planning permission granted to Langton Homes for development of 18 houses on site LN06 along Cold Overton Rd (see Figure 4.4 on page 27). Langham Parish Council was consulted at an early stage and modifications were made to better align the development to LNP Policies and demographic requirements.
23. In any planned development, consideration of easy-access homes designed with the over-50s in mind and on starter/shared ownership/affordable homes for the younger folk will be required. Ideally these will be on the edges of the PLD or within existing settlements and would allow for both buying and rental options.
24. As the village grows, and there is more development just outside the PLD the mix of housing must be consistent with this Plan. Even here, 3 storey houses are unacceptable.
25. New developments of more than three houses must look to include single/1.5 storey and flexible living designs to meet the predicted demographic trends identified for Langham.
26. This use of diverse but complementary architectural styles is expected to continue throughout future developments, as is the use of materials that are similar or complementary to those in the locality.

27. All new housing must be energy-efficient and use renewable and low carbon materials. This is required also of extensions to existing homes., both in new and existing buildings, as is the use of sustainable materials.

Policy BD1: Buildings & Materials

- a. Development proposals within the Conservation Area should reflect the vernacular use of stone or brick and the architectural style of the traditional buildings;
- b. Development proposals should retain and enhance the character of the location by being sympathetic in scale and by using materials and finishes that are consistent with existing and/or neighbouring properties in form, colour, texture and tone;
- c. New buildings will be of no more than 2.5 storeys and of a modest height;
- d. Proposals for the use of redundant farm buildings for residential or small business use within the Planned Limits of Development will be supported;
- e. As appropriate to their scale, nature and location, development proposals should use energy-efficient and environmentally sensitive materials;
- f. Development proposals should use building materials which are visually compatible with those in the immediate locality .

Relates to CS2; CS19; SP15; SP23

28. Policy BD1 has been prepared to add value to existing local guidance. This includes the Listed Building policies in the Sites and Allocations Plan, and the Design Guidelines SPD for Rutland (and Kesteven).



Housing Density and Layout

Objective:

The existing housing density is retained when new builds or extensions are being considered in order to retain the open, rural character of the village.

1. The village, as defined by the Planned Limits of Development (PLD) is divided into four clear areas that have evolved over its considerable history, and reflect the taste and style of those times.
2. Architectural styles are diverse but it is the buildings and bridges along Church Street, Well Street and Burley Road that define the essential nature of the village.
3. Later buildings are in a more contemporary style, predominantly of red brick under a slate roof.
4. Whilst there are variations in style, developers have been encouraged to refer, for guidance on fundamental design, to planning documents – national and local. The Rutland Design Guide, developed with South Kesteven is a key reference document (see image in Figure 5.10).

5. 20th-century buildings represent a wide variety of styles and construction materials, sharing only (in the main) the simple lines, modest scale and small groupings of the older parts of the village.
6. Many of the houses in Langham have a grassed frontage, which creates openness to the streets. Where buildings have been converted into dwellings it has created an angular configuration rather than every frontage facing the street. This can be seen on Church Street between the Village Hall and the junction with Bridge Street. These types of layout create interest in street scenes and provide alternatives to front garage elevations.
10. A major contributor to the rural character of the village is the housing density of no more than 30 houses per hectare. It is important in all new developments and in applications for infill development, that this density is maintained.
11. The open character of Langham is a direct result of many homes having large gardens and houses being well spaced out.
12. Most additional new housing has come from development on infill sites, most of which are part of existing gardens or small plots between houses. In a few cases the houses are too large for the small plots of land and this needs to be a key consideration of future infill development.

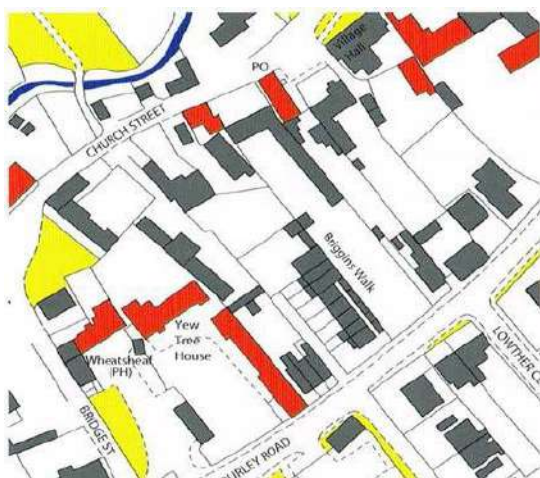


Figure 5.9: Building Layout in Langham

7. The layout of new developments is also important to the open character of the village. In consultations with the community there were three favoured forms of layout that are acceptable – angular, cul-de-sac and cluster.
8. There are a number of examples of Angular and Cul-de-sac layout to be found throughout the village. There is really only one example of Cluster where bungalows are arranged around a shared green space on Bridge St.
9. There is recognition that growth is important, but that additional housing should be well thought through, and controlled sensitively to ensure the fundamental character of Langham is maintained.

13. This means that new development, or any windfall development where a home owner wishes to build in their garden, needs to adhere to the village housing density. If the proposal leads to more than 30 houses per hectare, then the application will be refused.

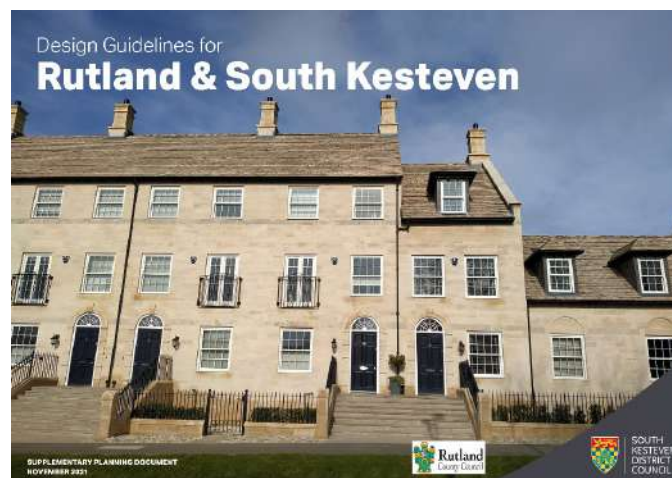


Figure 5.10: The Rutland and South Kesteven Design Guide



1. **Angular**, some street-facing



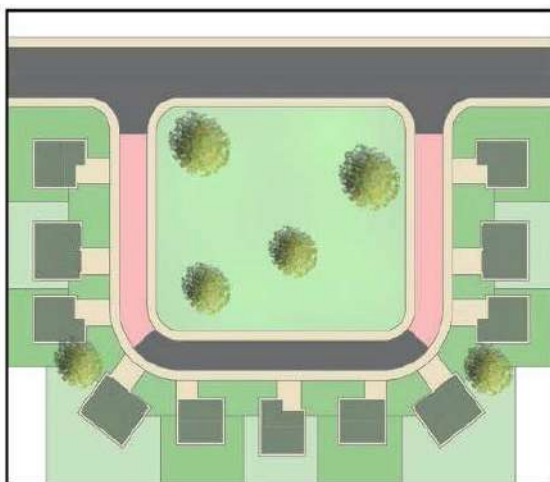
Example: Burley Rd.



2. **Cul-de-sac**



Example: Fairfield Close.



3. **Clusters** (through road with communal open space)



Example: Bridge St.

Figure 5.11: Preferred layouts for development and examples within the village.

Policy BD2: Housing Density & Layout

Proposed developments of three or more houses should respond positively to the following matters:

- a. small groupings of houses and garages should be designed to create a sense of community, where a shared green space allows for communal gathering and activities. The preferred groupings are Crescent, Cul-de-sac and Cluster;
 - b. a mixture of size, type and scale of housing, in line with the existing mix in Langham today;
 - c. the density of the site should reflect the character and appearance of the village;
 - d. any garages & conservatories within the proposed development should be designed to be subservient to the overall house in general and not dominate the front elevation in particular.
2. Proposals for individual houses or extensions should reflect the density and layout of the local area and positively respond to the following matters:
- a. the buildings should be appropriately sized for their plots, allowing for gardens in proportion and suitable separation from adjacent properties;
 - c. Any garages and conservatories within the proposed development should be designed to be subservient to the overall house in general and not dominate the front elevation in particular.

Relates to CS10; CS23; SP15; SP21; SP23



Open Courtyard



Angular



Courtyard Cluster



Cul-de-sac

Figure 5.12: Examples of different housing layouts that would be acceptable.

Building for the Future

Objective:

To ensure new buildings are fit for the evolving needs of the future, both environmental and technological.

1. Whilst it is important to retain the character of Langham by paying attention to materials, layout and density of new developments, it is also important to ensure that new builds are future-proofed.
2. The three areas to focus on are water quality and management, broadband capability and energy efficiency..

Water Quality & Management

3. Climate Change is likely to increase the risk of flooding everywhere. Langham already floods on a regular basis – and this is likely to get worse.
4. Whilst we have looked at mitigating flooding in new developments in Section 4, there are other issues that need to be considered that are water-related.
5. The Sewage Works at the end of Mickley Lane is old and so developers must consult with Severn Trent Water to ensure it can accommodate any increase in throughput.
6. Any developer must demonstrate that foul water treatment and disposal already exists and is adequate, or must show how it will be provided in time to serve the development.
7. All planning applications will need to be accompanied by a statement of how surface water is to be managed including allowing for climate change effects.
8. Encouragement will be given to water-reuse as well as to the seeking of multiple benefits such as biodiversity enhancements in addition to drainage function.
9. Any developer should demonstrate water efficiency, incorporating, where possible, more innovative water efficiency and

water re-use measures. (see *Support Document SDL4* for details)

10. Where Sustainable Drainage Systems (SuDS) are required, Severn Trent Water recommends the design should be in accordance with current industry best practice, the SuDS Manual & CIRIA C753. *This is detailed in SDL4.*

Policy BD3a: Water Quality & Management

As appropriate to their scale, nature and location, development proposals should demonstrate the following

- a. water is available to serve the development to optimal requirements in Building Regulations of 110L water per person per day ;
- b. adequate foul water treatment and disposal already exists or can be provided.
- c. foul and surface water flows should be separated where possible;
- d. how surface water will be managed and discharged, including climate change effects, to include the use of SuDS techniques where required (see *Table BD1*);
- e. consideration of topography, in consultation with the Lead Flood Authority, to inform layout and design;
- f. water re-use, on-site attenuation & infiltration where possible;
- g. ponds and wetlands have been considered where feasible;
- h. opportunities have been sought to achieve multiple benefits such as:
 - i. Green infrastructure provision,
 - ii. net Biodiversity Gain,
 - iii. Rainwater collection,
 - iv. Water (and energy) efficient technologies.
- i. use of porous materials in drives such as gravel or neutral block paving (not tarmac).

Relates to CS2; CS19; SP1

Table BD1: Best Practice checklist for use of SuDS

All major developments shall ensure that SuDS for the management of surface water run-off are put in place unless demonstrated to be inappropriate.
All schemes for the inclusion of SuDS should demonstrate they have considered the 5 aspects of good SuDS design, Quantity, Quality, Amenity, Biodiversity and its 'fit' in the existing landscape.
The completed SuDS schemes should be accompanied by a maintenance schedule & description of how responsible parties are to ensure that the SuDS are maintained in perpetuity.
Where possible, all non-major development should look to incorporate these same SuDS principles into their designs.

Promoting Internet Access

1. Information and communication is becoming ever more integral to people's lives
2. Social connectivity relies more and more on technology and as people become more fluent with its use and possibilities, so the need to improve its availability increases.
3. The recent pandemic has accelerated the reliance on technology for social and work use.
4. Increasingly more people are spending more time working from home and need technology to be fast and reliable.
5. Reliability and speed of broadband is now a consideration for house-buyers. Many even view it as one of the standard utilities of a home.
6. In rural locations like Langham residents feel that future-proofed and reliable broadband is vital to helping them get on in life.
7. Fibre to the premises (FTTP) is recognised by the Government & European Commission as next-generation access technology. Retrofitting such technology would be very expensive, whereas equipping new builds with it would be far less so.

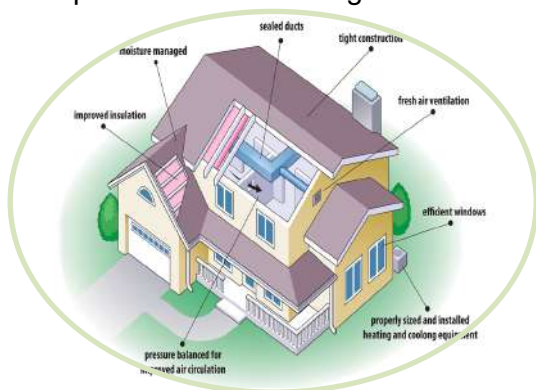
8. According to the June 2021 Statistical Digest of Rural England published by the Department of the Environment, Food and Rural Affairs, the average broadband speed in rural areas in 2020 was 7Mbps.
9. It went on to say that 92% of rural communities have access to Superfast broadband, which delivers a speed of around 4Mbps.
10. The government's latest target is for 85% of households to have access to 1Gbps by 2025 (this is 1000Mbps).
11. Openreach currently anticipates upgrading Langham to FTTP when the commercial rollout of the Oakham exchange takes place in March 2023-March 2024. This should greatly increase broadband speeds.
12. Fibre to the Premises (FTTP) is considered to be essential infrastructure and vital to the delivery of sustainable development. Policy B3b highlights the importance of this matter.
13. Proposals should be accompanied by a Fibre to the Premises Statement that has been produced in conjunction with the relevant telecom provider.
12. FTTP fitted to new homes in Langham needs to be 1Gbps-capable.

Policy BD3b: Promoting Internet Access
 Development proposals should be provided with Fibre to the Premises (FTTP) connections..
Relates to CS13; SP14



Energy Efficient Construction

1. RCC has put forward measures to address climate change in their Climate Change Action Motion in which they commit to:
 - a. net-zero carbon footprint for RCC activities by 2050;
 - b. achieve 100% clean energy across all council functions by 2050;
 - c. require a climate change impact assessment on all council activities;
 - d. Scrutinise policies and strategies to ensure climate change & the environment are key factors;
 - e. review council activities to reduce production and consumption of emissions;
 - f. set up a Climate Change Partnership Group to advise on ways to address climate change;
 - g. encourage government support, financial resource and authority, to help tackle climate change



2. In Langham we need to 'do our bit' to contribute to this national and global challenge.
3. It is possible to address the causes and effects of climate change through a range of measures including locating development where it minimises the need to travel, promoting alternative means of travel to the private car, promoting green infrastructure and locating development to minimise flood risk and including charging points for electric cars.
4. The conservation of fuel and power and water efficiency are matters that are covered by Building Regulations.
5. Planning can deliver higher rates of energy efficiency by calling for all developments to meet a minimum Building Research Establishment Environmental Assessment (BREEAM) rating of 'very good'.
6. All new developments should also prepare for the introduction of the Future Homes Standard proposed by Government and should be looking towards achieving zero carbon homes.
7. Selecting materials that are either sustainably sourced, or sustainably manufactured (as far as possible) will be expected of all developers.
8. Insulation, double glazing, efficient heating are just a few ways that developers can reduce the energy cost both of house construction, but also that of living in the house.
9. There is a hierarchy of energy options that developers (and individuals) might pursue:
 1. reduce the need for energy;
 2. use energy more efficiently;
 3. use renewable energy;
 4. use low carbon sources;
 5. use conventional energy.
10. Locally it is possible to make small changes that add up to a bigger contribution.
11. Buildings contribute about 33% of the greenhouse gas emissions - that is the construction and the running.
12. The reduction in the use of those materials that take a lot of energy to produce, eg. concrete, should be considered and design skills used to provide homes that use more green materials such as wood.

Policy BD3c: Energy Efficient Construction

As appropriate to their scale, nature and location development proposals should target zero carbon-emissions and optimises energy efficiency measures including::

1. the installation of energy efficient measures such as loft and wall insulation and double glazing;
2. the use of energy efficient heating systems;
3. the use of high quality, thermally efficient building materials;
4. the inclusion of on-site energy generation from renewable sources;
5. siting and orientation of buildings to optimise passive solar gains;
6. making provision for the recharging of electric cars.

In particular, development proposals for alterations and extensions should;

1. be designed to respond positively to energy reduction and comply with suitable design and construction standards;
2. set out to reduce energy demand and generate renewable energy ensuring that such works safeguard the character and integrity of the building concerned.

Relates to CS2; CS18; CS19; CS20; SP1

Architectural Features

Objective:

Roofs, chimneys, windows, doors and other architectural feature of new and existing buildings will match existing and are sympathetic to neighbouring properties.

Roofs and Chimneys

1. There is a uniformity of roofline within Langham with subtle variations and prominent chimneys to draw the eye and add interest. Grey slate, Westmoreland slate and Collyweston slate are typical

materials in use throughout the village and should be used for further development. Modern replica materials may be used where supply of natural materials is a problem but consideration should be given to close matching of colour and texture and potential weathering effects (see Figures 5.3, 5.4, 5.5a, 5.5b, 5.7 & 5.12)

2. Chimneys are mostly red brick or limestone clad with red or yellow clay pots. Most properties within the village feature a chimney and this provides interest, especially where there are terraces or houses in close proximity.
3. The inclusion of chimneys in the design of a house in no way encourages the use of fossil fuels such as coal. They are for wood burners and/or aesthetic purposes.

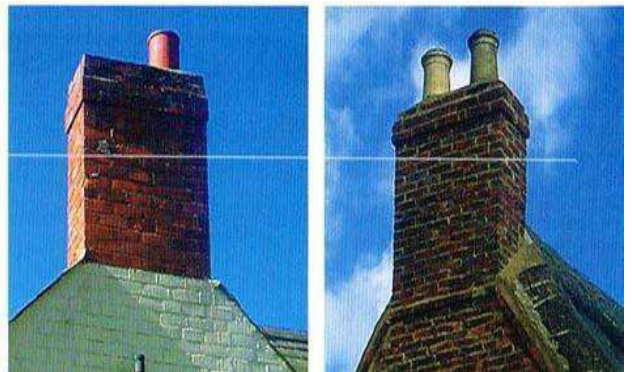


Figure 5.13: Typical Chimneys.

Windows and Doors

4. There is no predominant window style within the village. The majority are of timber, with only the Parish Church, the Manor House and the Old Hall having stone mullions with leaded lights. Large buildings such as The Limes and the Old Vicarage have sash windows at the front with panes in 4x4 or 3x4 patterns, some of which may date from the 18th century. Smaller pre-20th century properties have simple wooden windows whose sizes are proportioned to the scale of the building

5. With a few notable exceptions, windows are painted, especially where building styles are uniform and where a developer has featured a particular style within an area. There should be a harmony of paint colour.
6. Doorways to front elevations have more uniformity and older buildings have panelled wood doors, either stained or painted, often with two glazed panels in the upper half. On older properties door furniture is often plain but prominent.

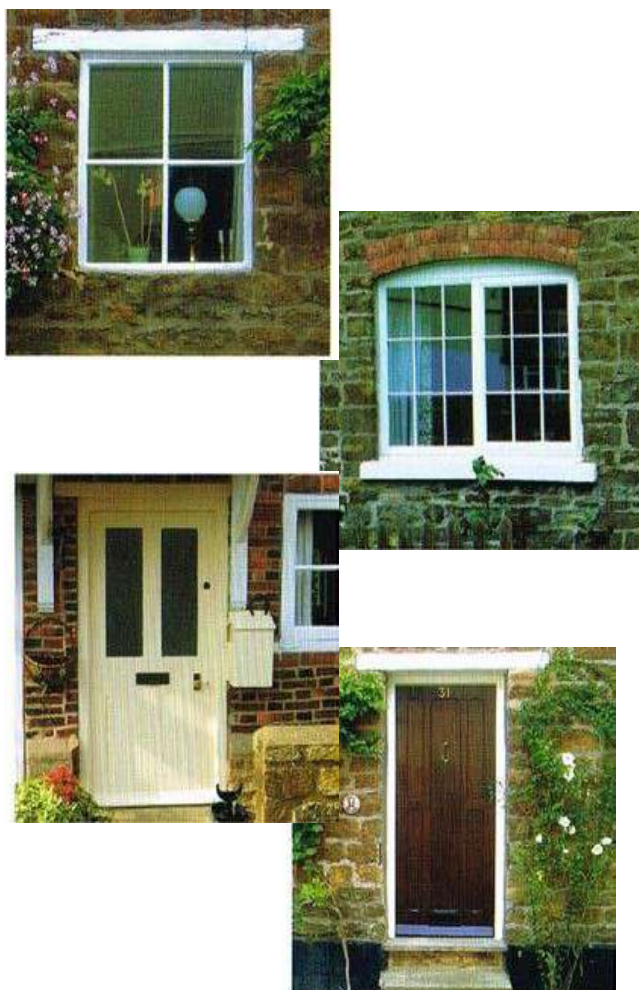


Figure 5.14: Examples of typical styles of windows and doors.

Policy BD4: Architectural features

New buildings should be designed to respond positively to local building and architectural features as follows..

1. Roofs and chimneys
 - a. The roofline of groups of new buildings will reflect that of nearby buildings with small variations in height. The inclusion of chimneys will be supported to provide interest.
 - b. Existing chimneys should be retained in building alterations and extensions;
 - c. Roofs should be constructed of natural materials or other sympathetic replica materials in keeping with the location and ensure consistency of size and style and a match in colour and texture.
2. Windows and doors
 - a. Windows and doors to visible elevations should be constructed of wood, or replica materials in proportion to the building and its neighbouring structures;
 - b. Traditional window styles and detailing should be maintained.
 - c. Where replacement windows or doors are essential they should maintain the style, colour, profile and proportion of the original..
3. Architectural features and materials
 - The architectural features of both new buildings and extensions should be sympathetic to existing buildings in the area. The use of non-traditional features such as decorated porches and bargeboard will not be supported.

Relates to CS2; CS19; SP15; SP23



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6. Cultural Heritage

6. Cultural Heritage

Conservation Area

Objective:

All development in the Conservation Area will preserve or enhance the character and appearance of the local area.

1. The majority of the village and part of its surrounding area is now a Conservation Area with Article 4 Direction at its core – an area essentially bounded by Manor Lane, Ashwell Road, Burley Road, Oakham Road, Melton Road and most dwellings on Cold Overton Road.(see **Figure 8.2 for detail**)
2. In the survey conducted for the Neighbourhood Plan in 2014, Conservation Status was regarded as the most important feature to preserve the historical character of Langham and it remains a priority today.
3. Protection of this status requires vigilance and thought when looking at any new development or alteration to existing houses and village layout.
4. Article 4 Direction offers even more protection where the rules of Permitted Development are severely reduced.
5. This means that, as a village, we require far more Planning Applications than normal, and may find that more than normal are refused.

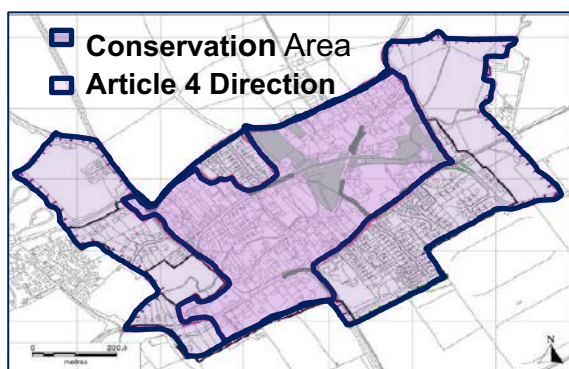


Figure 6.1: Diagram showing Conservation & Article 4 Direction Status (see **Figure 8.2 for detail**)

Policy CH1: Conservation Area

The scale, form, siting, design and materials of any development in the conservation area should preserve or enhance its character and appearance.

Relates to CS2; CS22; SP16; SP20

Sites of Historical and Archaeological Importance

Objective:

To protect and preserve the heritage of the parish by ensuring that the land, buildings and structures of historical significance are conserved for future generations.

1. Cultural heritage is seen as important by communities as a whole and Langham is no different.
2. A survey by the Heritage Lottery Fund investigated 12 locations involving over 4000 people to find out what they thought about heritage and the history of their neighbourhood.
3. This showed strong local support for the importance of heritage: 93% see heritage as important for the country; 81% as important to them personally; 80% say local heritage makes their area a better place to live.
4. Langham has a long history: there are early 13th- century references to the granting of market licences. Parts of the parish church are late 12th century. The earliest surviving house currently recorded is the 13th century north/south range of Langham Cottage. 'Highfields' in Weston's Lane shows a long history of development starting in 1468.
5. The community of Langham sees the importance of preserving the parish heritage, updating and expanding it where necessary.. This includes areas likely to be of historical or cultural importance.

6. There are currently two areas at risk:
 - a) the Pastures on the Cold Overton Road are on an old water mill site;
 - b) the paddocks on Manor Lane slightly east of Orchard Road offer the only unobstructed views of St Peter and St Paul Church from the road. (**See Figure 6.2**) The smaller of the paddocks contains relics believed to be from the original Old Hall.
7. The Church of St Peter and St Paul is a Grade 1 listed building with parts dating from the 12th century; the Old Hall in Church St. is Grade II* , and there are 36 Grade II listed buildings, collections of buildings, and structures throughout the village.
8. It is not only built structures that merit protection. The parish boundary is of great historical significance: it is exactly the same as represented on an estate map of 1624 and is likely to have existed in its current demarcation for even longer.
9. The northern boundary is marked by Loudall Lane, a classic mediaeval lane, probably Saxon in origin and the longest unobstructed bridleway in the county. It has been badly affected by uprooting of the ancient hedgerow.
10. Part of the southern boundary of Langham is just north of the Oakham bypass and east of the A606. This boundary is marked by an ancient hedgerow linking the Rutland Showground and Oakham. Whilst at one time gap-free, this hedge has been lost in a few places and needs repair.
11. The boundary hedge running through the rugby pitch was badly damaged by uprooting and excessive hedge-cutting. It is hoped that Rutland Agricultural Society, the owners of the showground, will make good these areas of damage and even consider the planting of trees to emphasise even further, the boundary between Oakham and Langham.



Figure 6.2: Paddocks on Manor Lane: the view south towards the parish church.

Listed Buildings and Structures

Table 6.1: *Listed Buildings and Monuments in Langham.*

NB: See also 'Langham History' by the Langham Village History Group or visit britishlistedbuildings.co.uk

Grade I - Church of St. Peter and St. Paul

Grade II* - Old Hall - Church Street

Grade II Listed:

1. Bridge Street, No 11
2. Bridge Street, No.13
3. Brookside Cottage – Burley Road
4. Church Street, No.22
5. Church Street, No. 24
6. Church Street, No. 31
7. Church Street, No. 35
8. Church Street, No. 41
9. Church Street, No.45 (Gatehouses to Old Hall)
10. Church Street, No.45 (Gatehouses to Old Hall)
11. Church Street, No.46 and Barn to rear
12. Cottage - Church Street
13. Gate piers and flanking walls, Manor Farmhouse, Church St.
14. Grange Cottage - Burley Road
15. Inner walls and gate piers to Old Hall - Church Street
16. Ivey House - No.16 Bridge Street
17. Langham Cottage - Burley Road
18. Langham House - Church Street
19. Langham Lodge - Burley Road
20. Langham and Barleythorpe War Memorial
21. Manor Barn, Manor Lane
22. Manor House - Church Street
23. Old Hall Cottages – Burley Road
24. Old Vicarage - Church Street
25. Rutland Vintners - Burley Road
26. School Cottage – Burley Road
27. Stables at Old Hall - Church Street
28. Stables at Yew Tree House - Burley Road
29. Summer house in the gardens of Old Hall - Church Street
30. The Grange - Burley Road
31. The Limes - Burley Road
32. The Wheatsheaf - Burley Road
33. Village Stone Cross, The Churchyard, Church Street (Listed by Historic England as 'Base and Broken Shaft of Village Cross')
34. Wall, gate piers and gates to Old Hall grounds, Church Street
35. Well Street, No.22 - 30
36. Well Street, No. 34
37. Well Street, No. 50
38. Yew Tree House - Burley Road

12. We are fortunate to live in a village with an amazing history going back millennia. Our parish has finds which include flint arrow heads and tools; a Neolithic Barrow *c 4000 - 2000BC*; Bronze age enclosures, ditches, pottery and arrow heads *c 3300BC to 1200BC*; several Iron Age enclosures *c 500BC - 52AD*; Roman artefacts *43AD to the 5th century*; Anglo Saxon pottery *410AD to 1066AD*; a mediaeval dye works and chapel *11th - 15th century*.
13. Whilst some finds can be recorded and removed for preservation, such as statues and coins, others need to be protected and conserved, such as the ancient Dye Works.
14. Any developer should seek professional advice and carry out an appropriate archaeological survey, and, where necessary, take appropriate action to record and preserve what is found.
15. The NPPF places an emphasis on understanding and conserving the significance of heritage assets as part of sustainable development. Developers must therefore consult the Rutland Heritage Environment Record (HER) and, where indicated, provide a heritage assessment as part of the Design and Access Statement. They must then comply with the recommendations based on the findings of that assessment.

Table 6.2: Archaeological finds in Langham Parish (*see Map in Figure 6.4*).

<p>1. Neolithic Age</p> <ul style="list-style-type: none"> a. Barrow b. Flint Arrowheads <p>2. Bronze Age</p> <ul style="list-style-type: none"> a. Ditch b. Axe Heads c. Pottery <p>3. Iron Age</p> <ul style="list-style-type: none"> a. Enclosures (three) <p>4. Roman</p> <ul style="list-style-type: none"> a. Statue of Jupiter <p>5. Anglo Saxon</p> <ul style="list-style-type: none"> a. Pottery <p>6. Medieval</p> <ul style="list-style-type: none"> a. Dye Works b. Edward III Penny c. Chapel Cross d. Medieval Chapel e. Burials f. Coins and Tiles g. Midden h. Water Mill i. Wind Mill <p><i>As recorded by Langham Village History Group</i></p>
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Policy CH2: Sites of Historical Importance

Development proposals should be designed and positioned to pay particular regard to the protection of listed buildings and scheduled monuments, and their settings, as described in Table 6.1 'Listed Buildings and Structures'.

The Plan identifies the following structures as non-designated heritage assets:

1. the finger post at the junction of Burley Road and Ashwell Road;
2. the bridge on Church Street.;
3. the ancient parish boundary as defined by its hedgerows and green corridors.

In weighing applications that directly or indirectly affect the three non-designated heritage assets, a balanced judgement will be required having regard to the scale of harm or loss, and the significance of the heritage asset.

Relates to CS2; CS22; SP20

Grade I Listed – St. Peter & St. Paul Church



Grade II Listed – Gatehouse to Old Hall



Grade II Listed – Village Hall



Grade II Listed – 22 & 24 Church St.

Grade II listed - 24 Well St.



Figure 6.3: Some of the listed buildings in Langham..

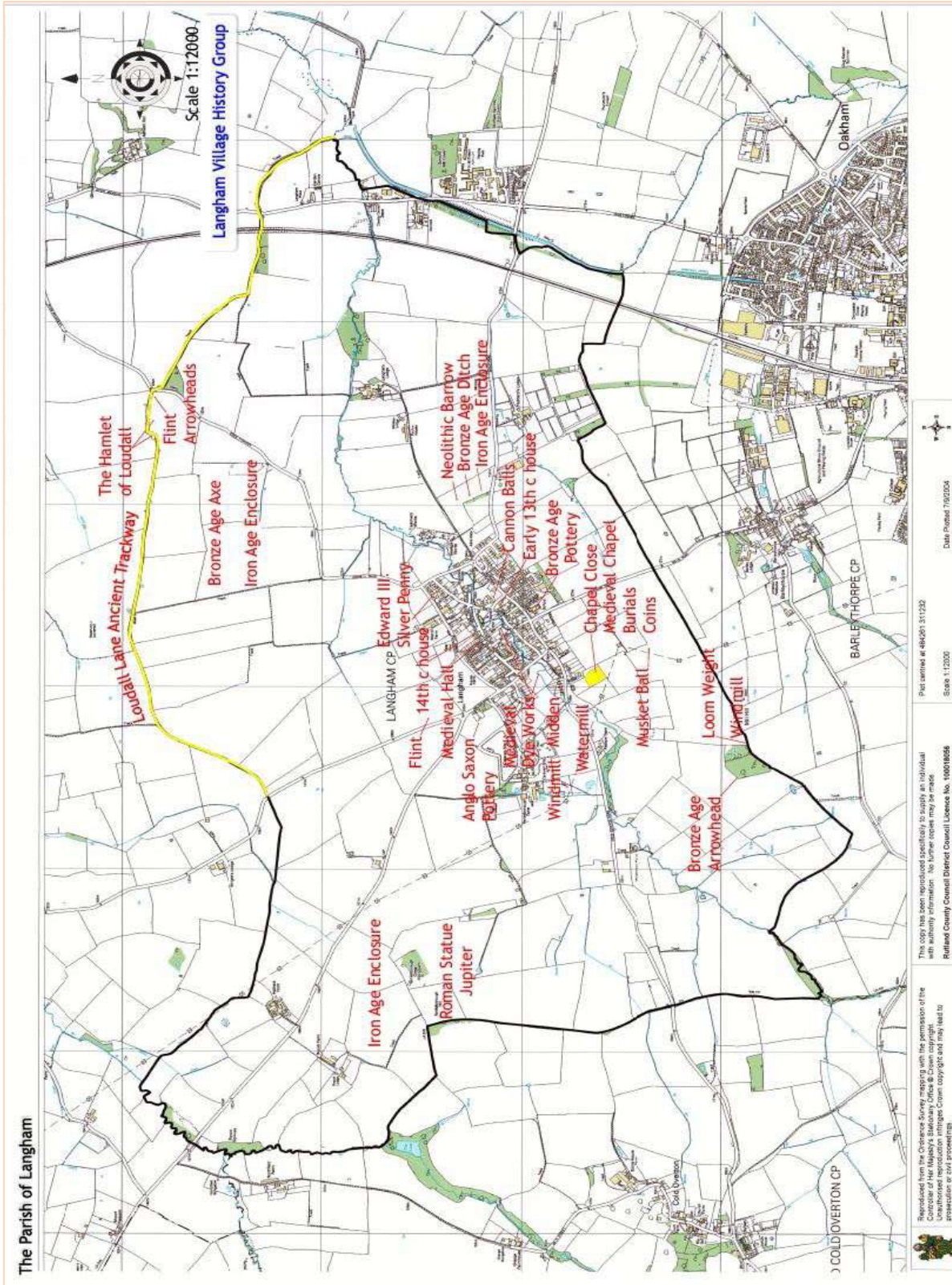


Figure 6.4: Map of location of all archaeological finds (Langham Village History Group)



LNP 2022-2041

7. RURAL SETTING

7. Rural Setting

Landscape Character

Objective:

The views, landscape character and rights of way that define Langham Parish are preserved and protected against any and all development.

1. Langham is situated on the western edge of the Vale of Catmose whose rural character and views are valued and enjoyed by residents and visitors alike.

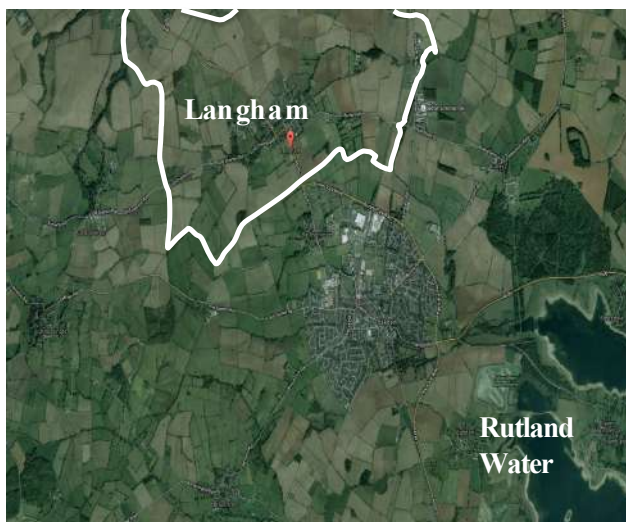


Figure 7.1: Langham in the Vale of Catmose

2. The classic 'vale' landscape of meadows and fields gently rises in altitude towards the north from the outskirts of Oakham across Langham Parish.
3. A key characteristic of much of the vale is that of an open valley basin created by the edges, shoulders, ridges and slopes of the surrounding hills and plateaux, the skylines of which are frequently wooded.
4. With higher land to the north and east, rights of way and bridlepaths along the ridges provide panoramic views to the south and west.
5. The basin in which Langham sits ranges from 80m at the base to around 120m at the rim.

Grade 1	Excellent quality; no or very minor crop & yield limitations.
Grade 2	Very good quality ; minor limitations which affect crop yield.
Grade 3a	Good quality; moderate limitations allowing moderate to high yield of narrow crop-range.
Grade 3b	Moderate quality; strong limitations allowing low yield of wider crop-range, moderate yield of narrow crop-range or high yield of grass.
Grade 4	Poor quality; severe limitations significantly restricting range & yield.
Grade 5	Very poor quality; very severe limitations which restrict use to permanent pasture or rough grazing.

Figure 7.2: Grades of agricultural land.

6. The land surrounding the village of Langham is used primarily for crops, grazing and pasture with large expanses of Grade 2 land to the east and Grade 3 land to the south, west and north.
7. The parish is criss-crossed with many rights of way and bridlepaths enabling people to enjoy the countryside, the wildlife and the views.
8. The footpaths are well used by residents, some being particularly popular with dog-walkers.
9. The bridleways that cross the parish are well used by horse-riders and pedestrians.
10. The growth of Langham that is required from the projected demographic numbers cannot be accommodated solely within the PLD. So it is accepted that selected sites that sit on the outside edge of the PLD will be considered as described in Section 4. Any site not adjacent to the PLD, and not previously selected via a Call for Sites by the community, is considered 'countryside' and is to be protected as Policy RS1.

- 11. Similarly, uncontrolled development in the countryside will significantly change, and possibly ruin, spectacular views and destroy the pleasures afforded to many from the rights of way.
- 12. Development needs to ensure that protected views are not blocked or significantly changed.

13. These views are not only those enjoyed in countryside walks, but include those from within the village – from homes and gardens. The positive effect of such ‘outward looking’ views on people’s wellbeing is widely accepted.



Figure 7.2: View across the Green Separation Zone from homes along the Planned Limits of Development.

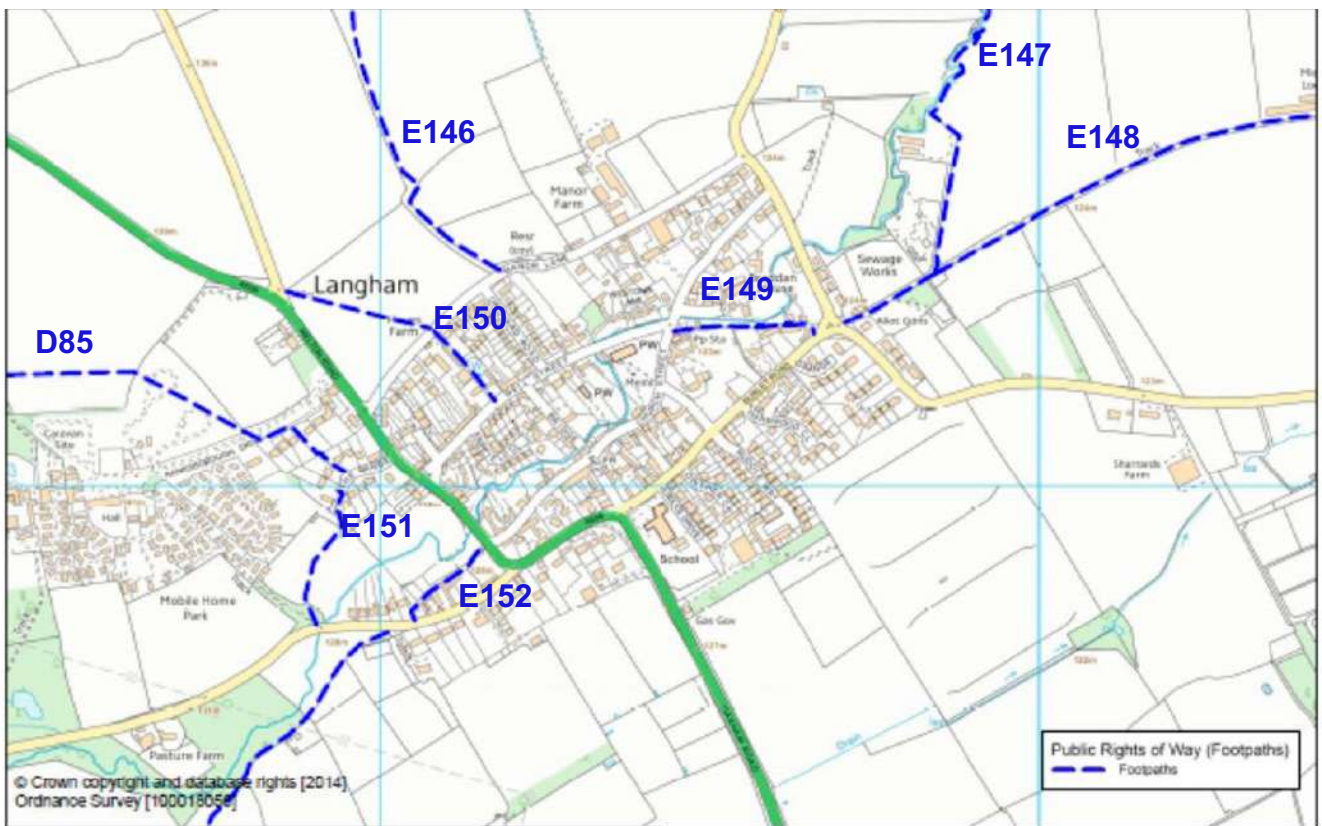
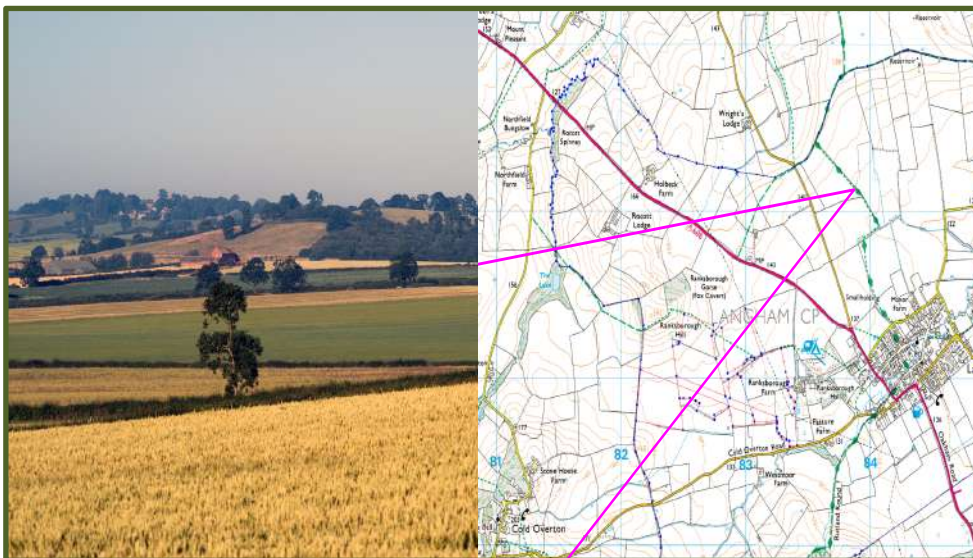
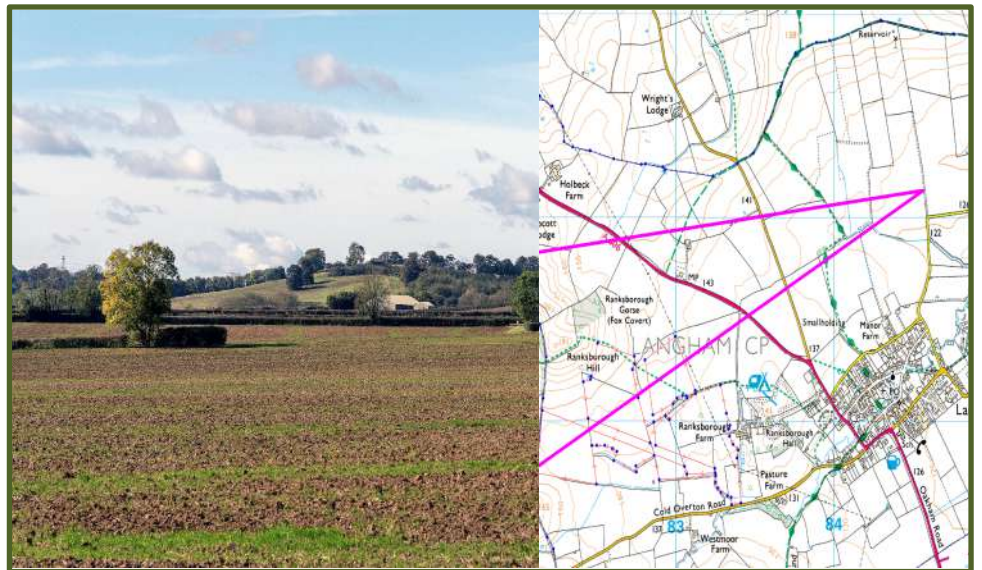


Figure 7.3: Rights of Way in Langham Parish.



View from field path to Loudall Lane towards Langham village.

View from field path leading to Loudall Lane.



View from E146 looking South-West.

Figure 7.4: Views across Langham countryside from various Rights of Way.
(Thanks to Mike Frisby for images.)

14. Policy RS1 below seeks to ensure that any development, residential or commercial, permanent or temporary, which might change the nature of Langham's rural setting and character, or that will fundamentally alter or block the countryside views are not permitted.
15. This means safeguarding and protecting the open landscape and setting of the village by ensuring any necessary development is restricted to selected sites (see Section 6) on the outer edge of the PLD, as defined at the date of this document, and is of a size, location and nature to minimise the impact on the appearance and public enjoyment of the countryside;
16. It also looks to protect the routes of footpaths, bridle paths and Public Rights of Way as defined by the RCC Definitive Map in order that the community enjoyment of these walks and rides is not spoiled. At the same time, seeking opportunities to link pathways; to safeguard protected views, specifically the various panoramas from the village including Mill Hill, Ranksborough Hill and Loudall Lane (**Figure 8.2**);
17. Finally it seeks to ensure that any fencing & gates, new or replacement, are in keeping with the rural character such as
 - a. post-and-rail style fencing rather than close boarded or metal,
 - b. gates, new or replacement, of wood or metal and 5-bar style.

Policy RS1: Landscape Character

Development proposals should respond positively to the landscape character of the countryside and the rural setting and identified views as shown in Figure 8.2.

Development proposals which would have an unacceptable impact on the nature of Langham's rural setting and character, or fundamentally alter or detract from the identified views will not be supported.

Relates to CS2;CS4; CS16; CS21; CS23; SP6; SP7;SP13

Development in the Countryside

Objective:

To conserve and protect the rural setting of Langham by ensuring there is no development in the open countryside outside the village Planned Limits of Development except in those sites named in this Plan.

1. The recommended landscape objectives for the Vale of Catmose identified on page 16 of The Rutland Landscape Character Assessment 2003 provide evidence and justification to support the protection of the surrounding countryside.
2. The report recognises that The Vale of Catmose 'contributes significantly to the pastoral landscape of West Rutland' and recommends safeguarding the landscape of Langham.
3. In planning terms all land that is outside the Planned Limits of Development (PLD) is defined as 'countryside'.
4. Policy RS2 seeks to provide a local interpretation of national policy. Paragraph 80 of the NPPF identifies the types of residential development which may be acceptable in the countryside. Other, more general elements of the NPPF comment about the opportunities for sensitive employment and energy generating developments to come forward in the countryside.



Figure 7.5: The open countryside of Langham.

5. Policies CS4, SP6 and SP7 in the wider development plan comment about development in the countryside. Policy RS2 of this Plan has been designed to be in general conformity with those policies.
6. It is hoped that community consultation, and genuine consideration of views expressed, are key to any decision about development in the open countryside.
7. The countryside between Langham and Oakham is limited in its scale and extent. One of the objectives of this Plan is to maintain the separation between the two settlements. This will be achieved by national and local policies for the countryside and the general effects of the policy.
8. In addition Policy RS4 of this Plan sets out an additional layer of protection for the identified Green Separation Zone

5. The Planned Limits of Development (PLD) for Langham are clearly defined (see Figure 0.3) Whilst two sites outside the PLD have been granted planning permission, there is no desire by the community of Langham for the PLD to be extended

Policy RS2 – Development in the Countryside

Development in the countryside will be restricted to proposals which would be supported by both national and local planning policies.

Relates to CS2; CS4; CS16; CS21; SP2; SP7; SP8; SP13; SP24



Figure 7.6: View along the D85 from Ranksborough Hill toward the village of Langham.

Energy Generation in the Countryside

Objective:

To help mitigate climate change by use of renewable energy methods that are acceptable and viable in Langham.

1. The 2004 Planning and Compulsory Purchase Act (as amended) states: "Development plan documents must (taken as a whole) include policies designed to secure that the development and use of land in the local planning authority's area contribute to the mitigation of, and adaptation to, climate change'.



2. However the NPPF states that development in the countryside needs to balance three objectives:
 - an Economic Objective – making enough of the right land available in the right place for the right purpose to help strengthen and sustain the community;
 - a Social Objective - providing sufficient homes but respecting the maintaining of sufficient space to meet health and social needs of the communities;
 - an Environmental Objective – to protect and enhance the natural environment, making effective use of land, mitigating adapting to climate change and moving to a low carbon economy.

3. What this all means is that mitigating climate change is critically important, but it cannot be considered in isolation, as the health and social benefits of preserving the countryside are every bit as important to sustainable development as, for example, energy generation.
4. Langham is a small village, situated in a vale where two sides (to the north and west) are high and two sides (to the east and south) are low which means that views, countryside walks and biodiversity of the countryside are important social and health benefits to the entire community.
5. Commonly accepted forms of renewable energy are geothermal, solar, wind and anaerobic digestion. Biochar is a more recent addition to the list.
6. Geothermal Energy: Work has yet to be done to see whether this is an efficient and cost effective source of renewable energy for Langham.
7. Solar Farms: A small solar farm (up to 3MW) on a landowner's own property where the energy generated is for the direct use of that landowner is acceptable.

Policy RS3: Energy Generation in the Countryside

Only development proposals for small anaerobic digesters and small solar farms (up to 3MW) where the landowner owns, manages and uses the output themselves will be supported.

Relates to CS19; CS20; SP18

Green Separation Zone (GSZ)

Objective:

To preserve the distinct identity of Langham by protecting a Green Separation Zone between Oakham North and the southern village boundary and prohibiting any and all development in that area.

1. The green fields that surround the village on all sides define Langham's character and position in the landscape.
2. To the south, however, this green buffer has been eroded and the southern boundary of Langham is now shared with the show ground and sports fields which are part of the Oakham North development.
3. The sole geographical feature preventing the village itself from being absorbed into the town of Oakham is a narrow band of land a few hundred metres wide which the Plan refers to as a Green Separation Zone.
4. Whilst Leicestershire has formal terminology and protection of such spaces or Green Wedges, Rutland, at present, does not.
5. In the Call for Sites in August 2015, when asked whether there should be a protected belt of green land between the southern parish boundary and the southern village boundary, the Green Separation Zone (GSZ), 93% were in favour of the size and extent of the GSZ whilst 3% felt it should extend further.
6. In the community consultation in September 2021, the importance of the GSZ was confirmed.
7. To add to the definition of this buffer zone, it is hoped that Rutland Agricultural Society will plant the boundary with trees in order further to secure this separation.
8. Policy RS4 seeks to supplement the approach taken in national and local policies for the countryside together with that in Policy RS1 of this Plan. The supplementary element brought by this policy is that development proposals in the GSZ should also safeguard the existing

separation between Oakham and Langham.

9. It is understood that proposals such as equestrian uses and outdoor recreation may be appropriate in this location
10. There are pockets of existing built development in the GSZ as shown diagrammatically on Figure 7.7a. Any development proposals in those locations will be assessed on their individual merits having regard to their impact on the openness between the two communities.
11. There is a Traveller/Gypsy Site on Oakham Rd. which is within the GSZ (A)
12. The south of Cold Overton has a residential area which is not part of the e GSZ , but does contain a farm(B)
13. Hubbard's Lodge lies to the west along Burley Rd. and extends almost to the parish boundary to the south. Along Burley RD here there are also a few residential buildings. (C).
14. Rutland Polo Club rents from a local landowner a field within the GSZ which abuts the village PLD (D).
15. Langham Engineering occupies a factory unit along the A606 behind the school – again, within the GSZ (E).

Policy RS4: Green Separation Zone

The Plan identifies a Green Separation Zone (GSZ) on the open countryside between the southern Planned Limits of development and the southern parish boundary (see Figure 7.7a.

Development proposals within the GSZ will only be supported where they would safeguard the existing separation of Oakham from Langham and retain its character and appearance.

Development proposals which would have an unacceptable impact on the integrity and openness of the Green Separation Zone and/or reduce the separation between Oakham and Langham will not be supported.

Relates to CS2; CS21; CS23; SP23

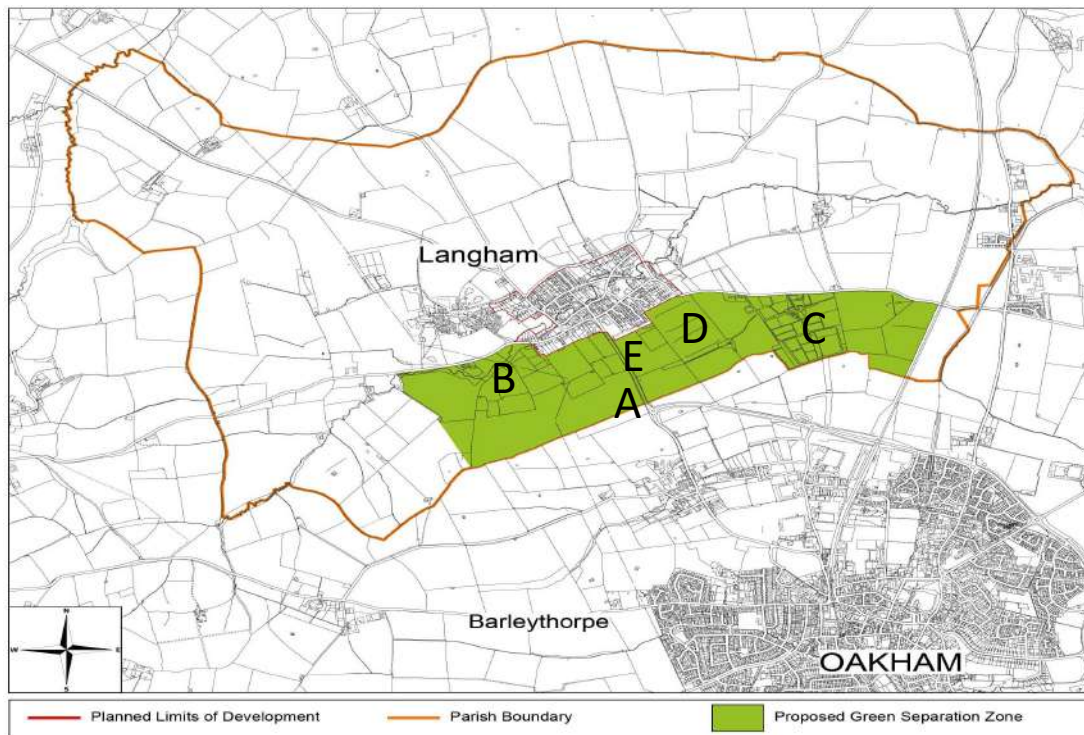


Figure 7.7a: The Green Separation Zone. Showing locations of homes & businesses.



Figure 7.7b: Part of The Green Separation Zone viewed from Langham's southern Planned Limit of Development.

Biodiversity

Objective:

To maintain and improve the biodiversity of Langham for future generations by protecting and managing natural habitats, particularly those areas specified in this Plan.

1. Langham Parish boasts both breadth and depth of biodiversity in the parish, without any (known) great rarities being present.
3. Species specially protected under the Wildlife and Countryside Act 1981, have recently been observed in Langham Parish: Badger, Otter, Water Vole, Kingfisher, Barn Owl, Red Kite, Buzzard, Soprano Pipistrelle, Common Pipistrelle, Brown Long-eared Bat, Whiskered Bat, Grass Snake.
4. Some of the species of birds seen in Langham are:

Tawny Owl	Little Owl
Starling	Fieldfare
Song Thrush	Mistle Thrush
Red Wing	House Sparrow
Tree Sparrow	Yellow Hammer
Dunnock	Sparrow Hawk
Red Legged Partridge	Grey Heron
Rook	Jackdaw
Crow	Blue Tit
Robin	Kestrel
Jay	Magpie
Wagtail	Flycatcher
5. Records of the Rutland Natural History Society suggest that there has been little change in wildlife and wildlife habitat in the last 25years.
6. However, the Great crested newts are a European protected species which have declined. The animals and their eggs, breeding sites and resting places are protected by law. They are widely distributed throughout lowland Great Britain with evidence suggesting they are present along all our waterways.

7. With the brook and the canal running through Langham it is important that attention is paid to the presence of this species whenever land is used for development.
8. District licensing is a new approach to authorising developments affecting Great Crested Newts (GCN), by focusing conservation effort where it will create maximum benefit whilst reducing delays, costs, risks and uncertainty for developers.
9. Because Rutland is a member of the District Licensing Scheme, all developers will be required to pay to establish, and maintain for 25 years, a new habitat for any GCN population. Though paid for by the developer, the habitat selection, maintenance and monitoring is carried out by bodies such as the Wildlife Trust.



10. The Royale Ranksborough Park is an important area for trees and wildlife as are the trees and hedges in neighbouring fields – there are Owls nesting to the south.
11. The protected Open Green Spaces and Frontages within the village, the banks of the canal, along with the fields, hedges and woodland in the countryside provide vital wildlife corridors. These must be protected, preserved and maintained in order that this biodiversity flourishes for future generations.

12. These areas are locally well known for being rich in biodiversity and providing habitat for wildlife, both flora and fauna.

13. This Plan supports Natural England in its call for developers to move from a neutral impact on biodiversity to one where there is a net gain.



Policy RS5: Biodiversity

The Plan identifies the following important sites for biodiversity:

- a. both sides of Cold Overton Road between Pasture Farm and Ranksborough Farm;
- b. the ancient parish boundary hedgerow, notably to the western and southern sides;
- c. the borders of the canal;
- d. Loudall Lane;
- e. Munday's Close Wildlife Area;
- f. Royale Ranksborough Park – both trees and wildlife;
- g. the verge at the junction of Manor Lane and Ashwell Rd;
- h. the verges of Ashwell Rd;
- i. the grounds of the Methodist Church;
- j. Ruddle Way wildlife areas;

Development proposals should safeguard the identified important sites for biodiversity.

Development proposals which would have an unacceptable impact on the important sites for biodiversity will not be supported.

Insofar as the identified important sites for biodiversity act as wildlife corridors, any development proposals in the immediate locality should enable and ensure the safe and natural passage of animals along and within the corridor concerned.

Development proposals affecting the identified important sites for biodiversity whose primary objective is to conserve or enhance biodiversity will be supported.

Relates to CS21; CS23; SP19



LNP 2022 - 2041

8. VILLAGE CHARACTER

8. Village Character

1. Langham is a small, rural village whose character reflects its long history. The community of Langham values this and calls for the protection of the village status, its history and its character.
2. According to the 'Urban & Rural Definition for Policy Purposes, England & Wales', commissioned by the DoE and others in 2017, a rural village is defined according to size (number of houses), density of housing and having a clear Green Belt or open fields surrounding it.
3. Langham is a small village by English standards with some 650 houses, where villages can have up to 2,500 homes. So there is no threat to Langham's status as a 'village' from the number of houses.
4. Section 5 of this Plan looks at maintaining the village status by being ever mindful of housing density – and not jamming houses in just because there is space to fit them.
5. Section 6 of this Plan looks at protecting its history and heritage by preserving its Conservation Status and its Article 4 Direction, as well as preserving listed structures for the future.
6. Section 7 of this Plan seeks to preserve the countryside and all it has to offer.
7. This section looks to ensure that, within the existing Planned Limits of Development, the growth of the village does not threaten the housing density (as defined in Section 5 Building Design), or the character that defines the village.
8. As well as ensuring that the village remains green by preserving open spaces, frontages, verges, front gardens, hedges and trees, it is equally important to preserve those things that are not green but make a strong contribution to the village scene. This includes such features as walls, boundaries and street furniture.

Important Open Green Spaces

Objective:

To preserve the rural character of the village by ensuring that no development will impinge on the identified Open Green Spaces and Frontages or block or otherwise obscure important views across, and within, the village.

1. The village has many small green spaces, both public and private and these must be retained; several areas have been listed as 'Important Open Green Spaces and Frontages' in the Rutland Core Strategy 2011 and SAPDPD. (*see Figure 8.1*)
2. These areas are designated by RCC after they have been assessed for suitability. A site must accord with at least one of the 7 criteria to be considered for retention or addition. The 7 criteria are described in **Table 8.1**.
3. In addition there are several small greens that are characteristic of the village and make an important visible contribution. These are referred to as Amenity Green Spaces and include:
 - the grounds of Langham C.E. Primary School;
 - the churchyards of the Parish Church of St Peter and St Paul, and the Baptist Church;
 - Munday's Close, which is a large open site of just under 6 acres on the eastern edge of the village incorporating a wildlife and woodlands area, parish burial ground, allotments and Community Park;
 - the area of land which lies between 54 Melton Road and Ranksborough Drive, The Pastures on Cold Overton Road and The Paddock on Melton Road;
 - the wild life corridor at the south of Ruddle Way extending to Oakham Road;
 - the green area in Squires Close;
 - the grassed frontages on Bridge Street, The Range, Grange Close, Sharrad Way and Harewood Close.

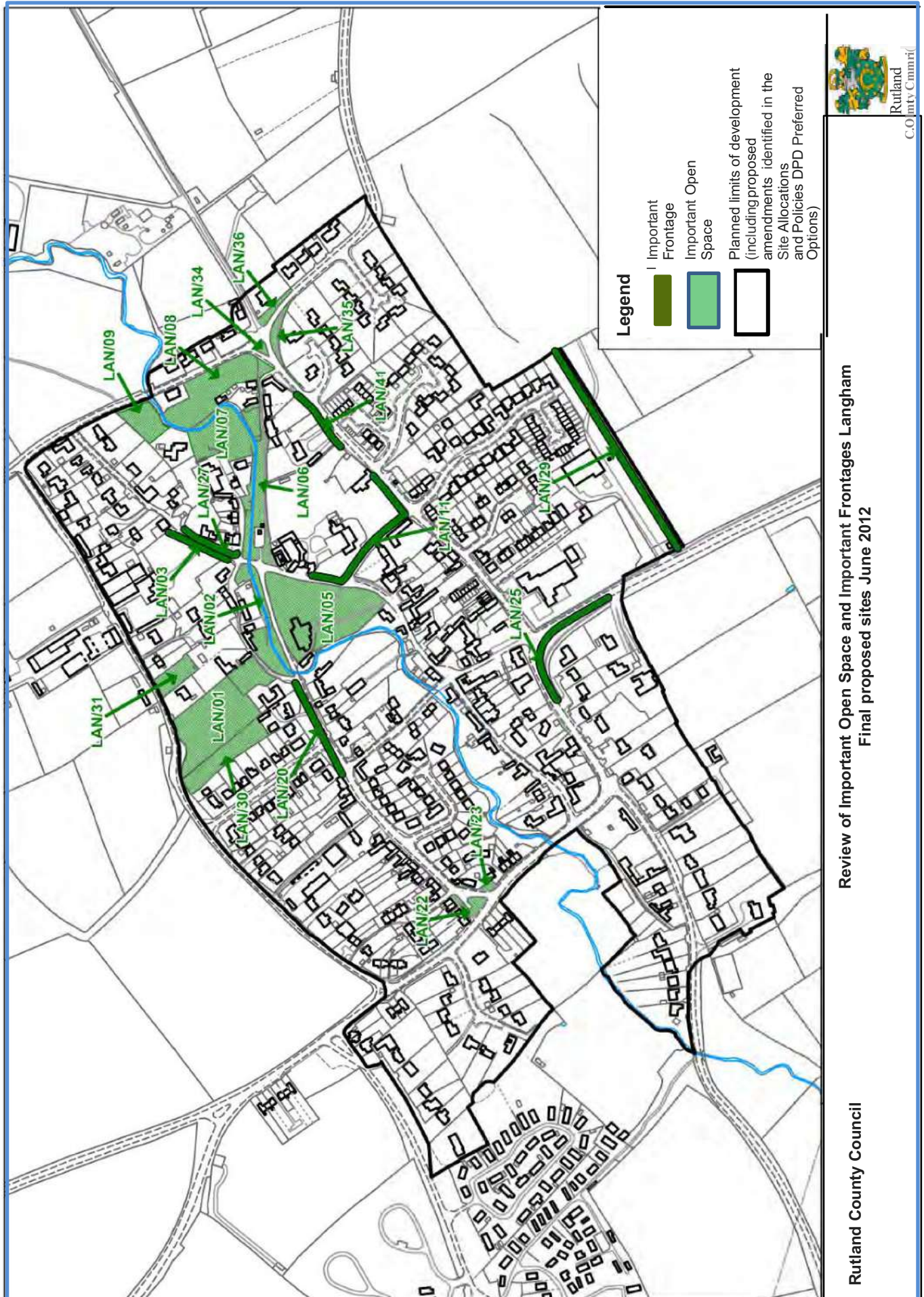
- the grass verges throughout the village;
- distinctive gardens.
- a small grassed triangle at the junction of Manor Lane and Melton Road;
- the Gun Green, with water pump, at the junction of Well Street and Melton Road;
- a small green (known as The Square) by the Church St. / Bridge St. crossroads,

4. Important Open Green Spaces are only found within the Planned Limits of Development (PLD). This is because there are other protections afforded to land outside the PLD where it is termed 'Open Countryside'. Development there has to comply with strict policies.
5. It is also important to note that Community Parks, Graveyards, Allotments and Wildlife Areas are all considered protected spaces and cannot be developed.

Criteria for Assessment of Important Open Green Spaces and Frontages

- | | |
|--|--|
| <ol style="list-style-type: none"> i. Is of intrinsic environmental value by virtue of its landform, vegetation and tree cover or the presence of any special features such as streams, ponds, important wildlife habitats and walls. ii. Enhances the attractiveness of the town or village setting when viewed from surrounding land, particularly the approaches to the built-up area. iii. Affords views and vistas out of and within the town or village important to its character and attractiveness. iv. Is transitional or peripheral land which should remain open to preserve the | <p>form and character of the town or village.</p> <ol style="list-style-type: none"> v. While not in itself of particular environmental value, is an essential feature, possibly in conjunction with other areas, in creating the overall character and attractiveness of the town or village. vi. Is an essential element in the street scene, important to the form and character of the town or village in terms of the relationship of buildings and structures one to another, to other areas of open space and to natural features e.g. trees vii. Is important in the contribution it makes to the setting of a building or group of buildings, or important natural features. |
|--|--|

Table 8.1: The RCC Criteria for Designation of Important Open Green Space or Frontage.



Review of Important Open Space and Important Frontages Langham
Final proposed sites June 2012

Rutland County Council

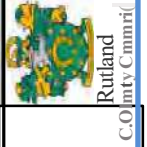


Figure 8.1: The RCC map of protected Open Green Spaces and Frontages in Langham.

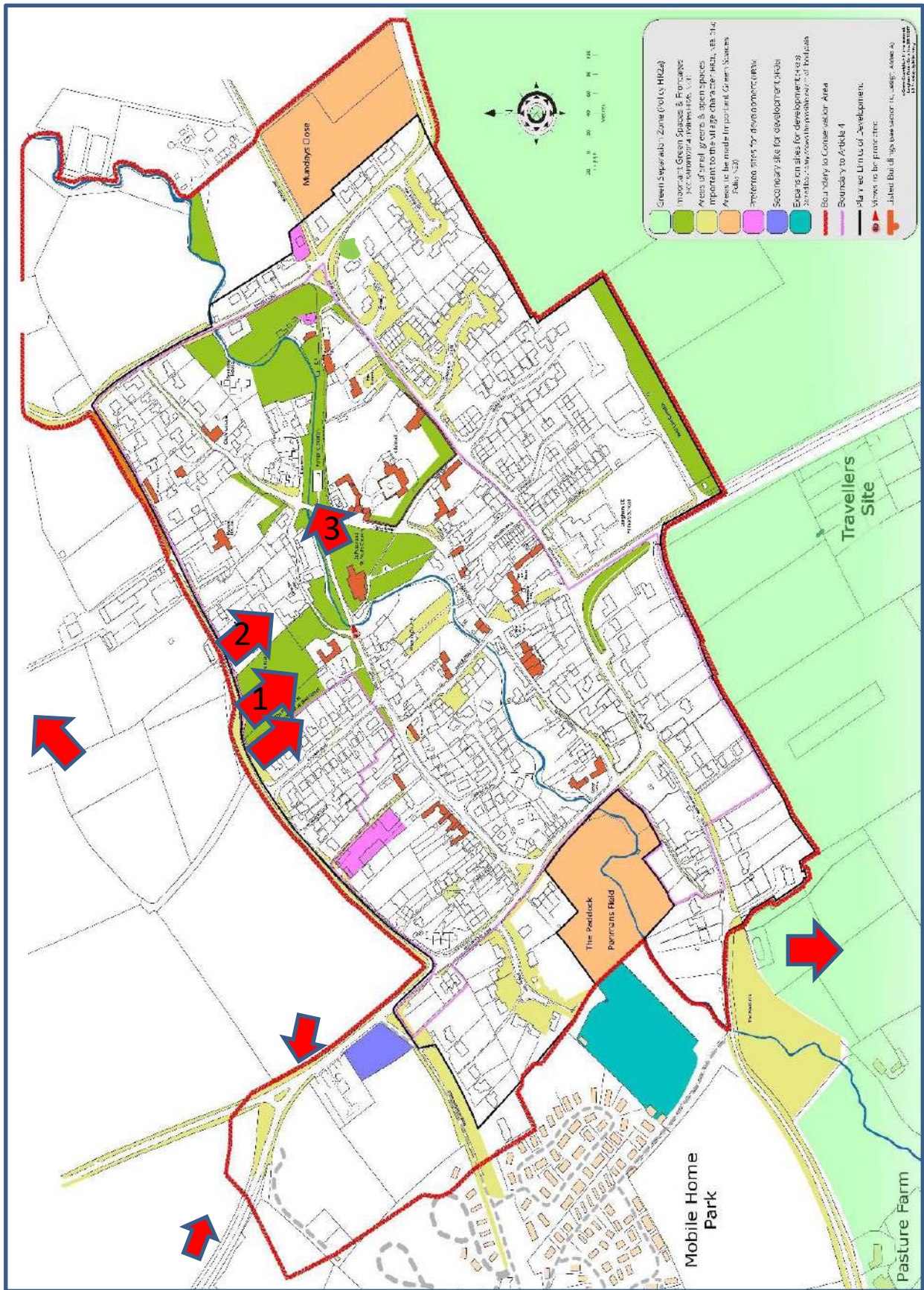


Figure 8.2: Important and protected views across, and from, Langham Village 

6. The protection of Open Green Spaces is specifically to ensure these pieces of land remain open, verdant and give the village character. However, there are uses to which this land can be put, to benefit the community, that does not affect the objective of this protection status.
7. Open spaces can provide suitable locations for schemes such as flood alleviation and flood resilience which, if well thought through, can also provide biodiversity benefits.
8. Policy VC1 comments about protected views. They are as follows:
 - a. views of the parish church and churchyard;
 - b. views of Langham and the church from the A606;
 - c. the village and church from Manor Lane across the paddocks at the rear of 48, 7, 50 Well St.;
 - d. the Bowling Green from Manor Lane, tucked behind a wicker gate, with church beyond;
 - e. the Church St. bridge to Well St. which incorporates the brook and its banks, with the church and old houses; *contd.*

- f. the brook, including the maintenance of the natural state of its paths and banks which are visually important.

Policy VC1 Important Open Green Spaces

The Plan designates protected Open Green Spaces and Frontages within the Planned Limits of Development (see Figure 8.1) to which Policy CS23 of the Core Strategy and Policy SP21 of the Sites and Allocations PDP will apply.

Frontages to new developments should be in keeping with existing development and the wider character of the area. The use of traditional boundary treatments such as hedges and walls will be supported.

Development proposals should safeguard the protected views within the village as shown on Figure 8.2. Development proposals which would have an unacceptable impact on the protected views will not be supported.

Relates to CS2; CS23; SP21



Figure 8.3: View along Well Street showing the Parish Church of St. Peter and St. Paul.



Baptist Church

St. Peter & St. Paul Church



The Square



Well St.



Penman's Field



Pump House, Church St



Village Pump



Munday's Close



View of Church from Manor Lane

Figure 8.4: Some Important Open Green Spaces (red) and Amenity Green Spaces (blue) that characterise Langham Village.

Gardens and Verges

Objective:

The verdant appearance of the village is maintained for future generations by giving protection to those features whose amenity value most define it – the trees, hedges, front gardens and verges.

1. A distinctive feature of any rural village, and certainly of Langham, is the lower density of housing where gardens, verges and other green spaces provide relief from the hard materials and appearance of buildings.
2. The spaces between buildings in the central area are characterised by large gardens such as those of the Old Hall, the Manor House and The Limes that complement other green spaces such as the Parish Churchyard and the grounds of the Baptist Church.
3. These distinctive gardens are planted with mature trees and add much to the natural and secluded atmosphere of the centre of the village. The sensitive recent replacement of the low, brick front wall at The Limes allows continued appreciation of the setting of this building.
4. Most houses in the village have front gardens and many also have grassed frontages.



Figure 8.5: Cottage garden in Church Street

5. It is important that these planted spaces are safeguarded.
6. Those outer areas of the village built in the latter half of the 20th century, places such as Harewood Close, The Range, Sharrad Way and Grange Close, all have open front gardens, with no walls, hedges or fences between. This gives an open feel and should be preserved.



Figure 8.6: Grange Close showing typical open garden frontage.

7. That open feeling is continued with more recent developments such as Ruddle Way although these homes have hard parking rather than front gardens which is not to be encouraged in any other development.
8. In the centre of Langham, where most of the older buildings are located, the front gardens are typically fronted with low walls or hedges and these should be maintained and retained to protect the overall character of that part of the village with Article 4 Direction status.
9. Langham's streets also benefit from some mature trees, fine specimens and native varieties, often in private gardens. Some of these have preservation orders. They, along with hedges, bring seasonal variety and support wildlife.
10. The meandering brook and efficient use of space dictates many of the twists and turns of Langham's streets, such as grass-tracked Westons Lane, angled Lowther Close and the V-junction of Well and Church Streets. There are narrow lanes with no pedestrian paths, either hedged (Manor Lane) or edged with stone walls (New Road). These contrast with other streets with wide grass verges.

11. The village is fortunate to have a number of footpaths providing access both within the village boundary and radiating out into the surrounding countryside, including the Rutland Round. The National Cycle Network also passes through the village.
12. In the main, these footpaths are ancient routes, having developed over time to facilitate movement through the village and out to neighbouring settlements.
13. Langham's legacy is a logical and inherently useful set of paths, cutting between the roadways and encouraging people to take walks through the village and the countryside beyond.
14. The appearance and character of a footpath is affected greatly by the choice of boundary planting and/or fencing. Native hedging is in keeping with the rural nature of the village.



Figure 8.7: Footpath – Well Street to Manor Lane

15. Close-board fencing or Leylandii hedging is increasingly used, giving a more urban feel which is not encouraged in this Plan.
16. The character of the path is also affected by the surface. Footpaths within the village boundary are mainly grassed, sometimes improved with gravel, but generally not over improved.
17. The provision and use of footpaths seen in traditional village design should be mirrored by their use in all new building developments within Langham. Footpaths connecting new residential areas, both with each other and with the village centre and amenities, help to create a sense of integration and cohesion, as well as increasing the sense of community and security for the residents.
18. Whilst trees often outgrow their location and need to be felled, Langham Parish Council encourages replacement planting with native trees of species common to the area, of local stock if possible and of an appropriate size for the location. The loss of mature trees has a very undesirable effect on the village landscape and on wildlife habitats.
19. Just outside the Planned Limits of Development is Royale Ranksborough Park with residential units and holiday lodges in a beautiful parkland area with many mature trees. It is unfortunate that a number of these trees have been removed in order to replace many older park homes with larger, modern units.

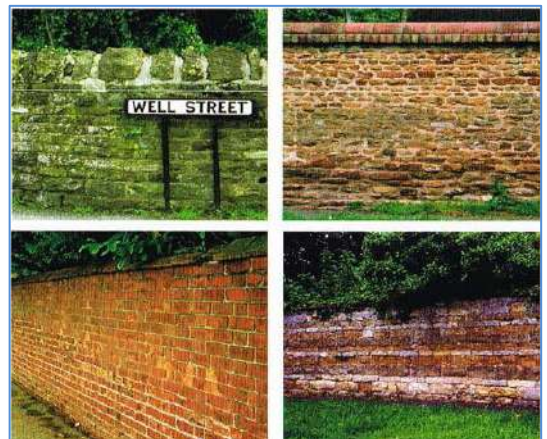


Figure 8.8: Examples of boundary walls .

Policy VC2: Gardens and Verges

Development proposals should protect and maintain the character and appearance of the village by paying attention to:

1. The important contribution to the character of Langham made by front gardens. A particularly important contribution to the character of the village is made by:
 - a. the land surrounding the Manor House;
 - b. the grounds of the Old Hall;
 - c. the front garden of The Limes;
2. The protected status of trees of historical or amenity value as listed in RCC's Tree Protection Order (TPO) list;
3. The preservation of ancient hedgerows and verges which include:
 - a. the remaining hedge that defines the Planned Limits of Development of the village;
 - b. the hedge and verge of Penman's Field;
 - c. the northern verge on Manor Lane near Ashwell Road;
 - d. hedges that feature as frontages to gardens, public footpaths and roads that help define the character of the street.

Relates to CS2; CS19; CS21; CS23; SP15

Objective:

Changes to Langham village due to growth and improvement will only add to or enhance the character of the village today.

Boundaries

1. Having described the importance to village character of open spaces and frontages, non-green features also have a significant impact on that character.
2. A particular feature of Langham is its boundary walls. The north side of Burley Road has a fine stretch of old wall, mostly of stone, which is almost continuous from Ashwell Road to the junction with Melton Road. Its height varies, from up to 2m. of ironstone rubble construction topped with semi-circular brick copings.
3. Sections in the middle switch to brick — with the same protective top and then back to ironstone near the Wheatsheaf car park. This latter section has been sympathetically modified to include a new entrance to the Yew Tree House barn. Any future alterations or additions should similarly retain the style and materials of this fine asset.
4. The Parish Church boundary wall is another important example of an old stone wall essential to the character of the village, as is the stone wall around Cotton Cottage, at the west end of Church Street.
5. There are equally important examples of red brick walls, such as the lateral boundary walls in Briggins Walk. A recent example of sympathetic rebuilding of a boundary wall is seen in the 4 foot tall, red brick front wall at The Limes.
6. Sections of ancient mud walls can be seen, incorporated into outbuildings on Melton Road (near the junction with Cold Overton Road) and the north end of Manor Lane.

7. There is a stretch of modern mud wall in Cold Overton Road marking the location of an ancient mud wall that was beyond saving.
8. Fence frontages are unusual in the older central part of the village, and most dwellings facing the street look out on to low walls, hedges or small gardens that add to the texture of the environment. There is some ranch style fencing that is out of keeping with the rest of the street facings and its use should be avoided.
9. High walls and high hedging in new developments and existing properties is to be avoided as open frontages are more typical of Langham.

Driveways

10. Many driveways are laid in buff shingle or gravel, after the more ancient examples of the Manor House, Old Hall and Westons Lane, which gives a softer, more natural tone than hard paving. Whilst there may be issues of carry over of pebbles on to roads these should not deter sensible design solutions that continue to allow uniform stone gravel to be a feature of house frontages.
11. Whilst gravel drives should be considered for older building, those from the last 60 odd years often have block paving. This offers a sympathetic alternative to gravel as long as bold patterns and multiple colours are avoided.
12. Tarmac is to be avoided as it is more in keeping with urban settlements and is less permeable than other materials.
13. Conversion of existing front gardens, or new developments allocating the front garden space, to car parking space is also an urban characteristic to be avoided in a rural village like Langham.

Pavements & Hard Edgings

14. Stone sets are used to edge the hard-surfaced paths in the centre of the village and are the preferred edging material in the older parts of the village, along Church St. and Well St. in particular.



Figure 8.9: Examples of Langham drives that are typical of a rural village.

15. Concrete sets are used on the busier roads to edge green verges that are susceptible to tyre damage from excessive parking as on Burley Road outside the Old Hall.
16. One of the principle landscape features of the Parish is Langham Brook. Two of the bridges that span the brook are key features of the village.
17. These features should be retained in their present form and scale.
18. Refurbishment of other bridges in the village should also be done to a visually attractive standard in keeping with the village character, as opportunities arise.



Figure 8.10: Bridges on Bridge Street (top) and Church St.

Advertising

19. Langham has two public houses, the Noel Arms and the Wheatsheaf, the latter being Grade II listed. It also has a cluster of small business units at the top of Mickley Lane, a small engineering works located near the A606, several active stables and farm properties and numerous 'at-home' businesses scattered around the perimeter lanes.
20. Such an eclectic mix of businesses gives the village vitality and popular appeal and are to be encouraged.
21. Advertising is essential for any business and any business signs should be discreet, of modest size and in keeping with the village surroundings.
22. Major advertising boards are not in keeping with the village and will continue to be disallowed.

Traffic Signage & Management

23. The main traffic issue in Langham is access to, and across, the A606. With more housing development on the west side of the village, and all social amenities on the east, this problem is only going to get worse over the coming years,
24. Another key traffic concern is at the junction of Burley Road and the A606 which is situated on a 90° bend in the main road.
25. The hazard here is exacerbated by the presence of a school, two pubs, two bus stops, a zebra crossing, houses with no off-road parking and parents driving to and from school – as well as the school bus.

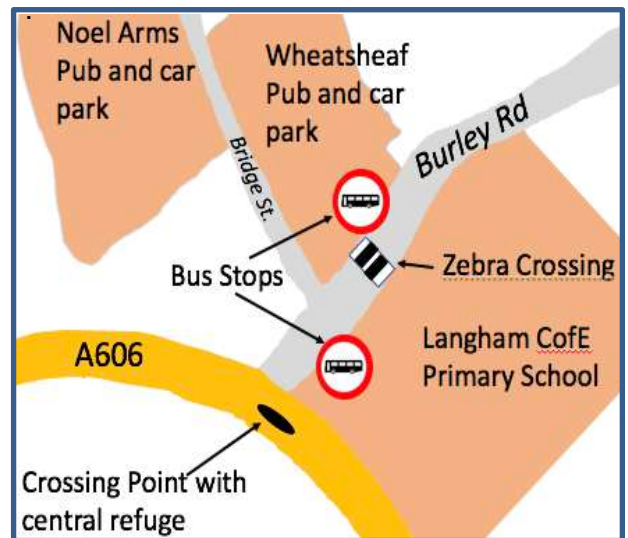


Figure 8.11 Burley Rd./A606 junction

26. The 90° bend at the junction with Cold Overton Road is also hazardous and will become more so should more houses be built along this road.
27. Traffic management of some sort is required within the village due to the narrow roads and street parking. However such measures as speed cushions, humps and high visibility signs are more appropriate to an urban situation and would change the rural character of the village streets.

28. Any kind of urbanisation of the village's roads is not acceptable (unless of course it is a safety matter). Examples are proliferation of road signs, creation of one-way streets and pavements on narrow lanes such as Manor Lane.

Lighting

29. Energy efficient lighting must be used throughout the parish and especially within the village.

30. Wherever possible street light supports should reflect the character of that part of the village.

31. It is always going to be difficult to get the balance right between having sufficient lighting to make the village safe but not so much that it looks like an urban settlement.

34. Village street signs and finger posts, whether old or modern, are attractive and proportionate. The finger post at Ashwell Rd/Burley Rd was damaged and unfortunately the repair came back with plastic letters.

35. Village notice and information boards on Well St., Mickley Lane and outside the Village Hall are mounted in hardwood frames, are well designed and are in keeping with their surroundings.



Street Furniture

32. There are a number of wooden benches throughout the village – mostly memorial benches. Modern benches can be made of wood-effect plastic which, whilst not ideal, is acceptable if of good quality. Any additional benches should reflect the overall character of existing benches.

33. Some litter bins are of traditional design, made of metal and reflect the character of the village. There are also numerous green plastic bins and these look singularly unattractive and out-of-place.



Figure 8.13: 'Street Furniture' typical of Langham

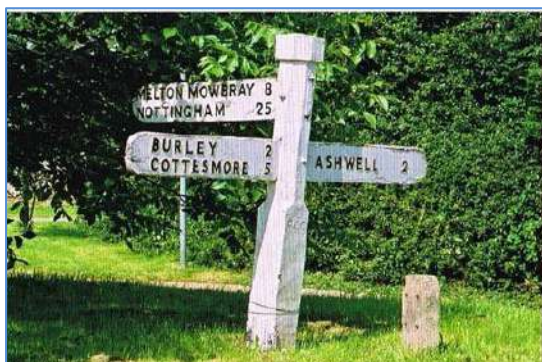


Figure 8.12: Finger post at Burley Road and Ashwell Road

36. The contribution that Traffic Signage, Lighting and Street Furniture make to the character of the village cannot be underestimated – they are important issues in the neighbourhood area.

37. However, they are not directly 'land use' planning matters and, as such, Policy VC3 of the Plan does not directly comment on these issues.

Specific Context for Policy VC3		
Boundaries and Driveways	Pavements, Verges & Hard Edging	Advertising
<ol style="list-style-type: none"> 1. New and replacement walls should reflect the materials, type of construction and proportions of existing/nearby walls; the use of fences as front boundaries will not be supported. 2. Any mud building or wall should be maintained and preserved. 3. The many existing ironstone and brick walls should be safeguarded and reflected in new developments. 4. The use of traditional materials such as gravel for driveways will be encouraged throughout the village. Impermeable materials such as tarmac are not typical of the Conservation Area with Article 4 Direction and will not be supported. 	<ol style="list-style-type: none"> 1. Pavements and grass verges should be maintained to their original width (unless their narrowness causes a safety issue). 2. The varied verge and path widths should be safeguarded and used as style examples in new developments. 3. Where hard edging is necessary, stone sets should be used wherever physically possible, in keeping with the village style. 4. Future developments should include pathways linking them to the rest of the village. 	<ol style="list-style-type: none"> 1. Where advertisements in the Conservation Area detract from the character or street scene and/or would prejudice public safety they will not be supported. 2. Advertisements in the countryside will only be accepted where they are on the building or within the curtilage of the business to which they refer, are small, muted in colour and design, unilluminated and not detrimental to the landscape

Table 8.2: Specific Context for Policy VC3

Policy VC3: Street Character

As appropriate to their scale, nature and location, development proposals should preserve and/or introduce features characteristic of the village such as walls, boundaries, driveways, pavements, kerbing, signage, lighting, street furniture and advertising, as identified in Table 8.2.

Relates to CS2; CS19; SP15; SP16; SP17



LNP 2022 - 2041

9. SUMMARY OF POLICIES

SUSTAINABLE GROWTH

Policy SG1: Housing Allocation

In order to provide proportionate and controlled growth for Langham in line with government and local housing targets, the neighbourhood area will provide a minimum of 51 dwellings within the Plan period

Relates to CS3; CS9

Policy SG2: Meeting Housing Needs

As appropriate to their scale, nature and location, development proposals consisting of three or more dwellings should provide a range of house types, sizes and tenures to meet the general and specialist needs for housing in Langham, including the following demographic groups:

- a. the elderly, who may need smaller homes and bungalows where adaptability, accessibility and energy efficiency are paramount;
- b. families who require larger homes to meet changing household needs;
- c. those who need high quality but affordable homes to enable them to live/work locally;
- d. those who need support to acquire a home and may choose to have rental accommodation;
- e. those whose physical ability requires a high level of accessibility throughout the home.

Relates to CS2; CS4; CS7; CS10; CS11; SP9

Policy SG3: Site Allocation

Proposals for residential development on sites LNP01 and LNP03 (as shown on Figure 4.4) will be supported.

Proposals for small business units on site LNP17 (as shown on Figure 4.4) will also be supported.

Relates to CS2; CS4; SP1; SP2; SP15; SP21

Policy SG4: Reducing Flood Risk.

As appropriate to their scale, nature and location, development proposals should be designed to eliminate, avoid or mitigate flood risk as follows:

- a. development is located in the areas of lowest flood risk as defined by the Environment Agency(EA);
- b. a Flood Risk Assessment is carried out for:
 - i. Flood Zones 2 and 3,
 - ii. Flood Zone 1 of area >1 hectare,
 - iii. an area known to have experienced flooding from any flood source, including critical drainage;
- c. the development will not increase flood risk elsewhere;
- d. run-off post development must not exceed pre-development rates for all storm events - to include 1% Annual Exceedance Probability and climate change allowance (see EA guidance).

Where development proposals are located in Zones 2 or 3, the following opportunities to mitigate or reduce flood risk should be actively incorporated in their design:

- a. amendment of layout;
- b. relocation to area of lower flood risk;
- c. restoration of functional flood plains & flood flow pathways;
- d. identifying, allocating & safeguarding open space for storage of flood water;
- e. designing housing that will minimise the impact of flooding. *Relates to CS19; SP1*



Floods: Well Street looking North East from the churchyard.

Photo - LVBS

BUILDING DESIGN

Policy BD1: Buildings & Materials

- a. Development proposals within the Conservation Area should reflect the vernacular use of stone or brick and the architectural style of the traditional buildings;
- b. Development proposals should retain and enhance the character of the location by being sympathetic in scale and by using materials and finishes that are consistent with existing and/or neighbouring properties in form, colour, texture and tone;
- c. New buildings will be of no more than 2.5 storeys and of a modest height;
- d. Proposals for the use of redundant farm buildings for residential or small business use within the Planned Limits of Development will be supported;
- e. As appropriate to their scale, nature and location, development proposals should use energy-efficient and environmentally sensitive materials;
- f. Development proposals should use building materials which are visually compatible with those in the immediate locality .

Relates to CS2; CS19; SP15; SP23



Policy BD2: Housing Density & Layout

Proposed developments of three or more houses should respond positively to the following matters:

- a. small groupings of houses and garages should be designed to create a sense of community, where a shared green space allows for communal gathering and activities. The preferred groupings are Crescent, Cul-de-sac and Cluster;
 - b. a mixture of size, type and scale of housing, in line with the existing mix in Langham today;
 - c. the density of the site should reflect the character and appearance of the village;
 - d. any garages & conservatories within the proposed development should be designed to be subservient to the overall house in general and not dominate the front elevation in particular.
2. Proposals for individual houses or extensions should reflect the density and layout of the local area and positively respond to the following matters:
 - a. the buildings should be appropriately sized for their plots, allowing for gardens in proportion and suitable separation from adjacent properties;
 - c. Any garages and conservatories within the proposed development should be designed to be subservient to the overall house in general and not dominate the front elevation in particular.

Relates to CS10; CS23; SP15; SP21; SP23

Policy BD3a: Water Quality & Management

As appropriate to their scale, nature and location, development proposals should demonstrate the following

- a. water is available to serve the development to optimal requirements in Building Regulations of 110L water per person per day ;
- b. adequate foul water treatment and disposal already exists or can be provided.
- c. foul and surface water flows should be separated where possible;
- d. how surface water will be managed and discharged, including climate change effects, to include the use of SuDS techniques where required (see *Table BD1*);
- e. consideration of topography, in consultation with the Lead Flood Authority, to inform layout and design;
- f. water re-use, on-site attenuation & infiltration where possible;
- g. ponds and wetlands have been considered where feasible;
- h. opportunities have been sought to achieve multiple benefits such as:
 - i. Green infrastructure provision,
 - ii. net Biodiversity Gain,
 - iii. Rainwater collection,
 - iv. Water (and energy) efficient technologies.
- i. use of porous materials in drives such as gravel or neutral block paving (not tarmac).

Relates to CS2; CS19; SP1

Policy BD3b: Promoting Internet Access

Development proposals should be provided with Fibre to the Premises (FTTP) connections..

Relates to CS13; SP14

Policy BD3c: Energy Efficient Construction

As appropriate to their scale, nature and location development proposals should target zero carbon-emissions and optimises energy efficiency measures including::

1. the installation of energy efficient measures such as loft and wall insulation and double glazing;
2. the use of energy efficient heating systems;
3. the use of high quality, thermally efficient building materials;
4. the inclusion of on-site energy generation from renewable sources;
5. siting and orientation of buildings to optimise passive solar gains;
6. Making provision for the recharging of electric cars.

In particular, development proposals for alterations and extensions should;

1. be designed to respond positively to energy reduction and comply with suitable design and construction standards;
2. set out to reduce energy demand and generate renewable energy ensuring that such works safeguard the character and integrity of the building concerned.

Relates to CS2; CS18; CS19; CS20; SP1



Policy BD4: Architectural features

New buildings should be designed to respond positively to local building and architectural features as follows:.

1. Roofs and chimneys
 - a. The roofline of groups of new buildings will reflect that of nearby buildings with small variations in height. The inclusion of chimneys will be supported to provide interest.
 - b. Existing chimneys should be retained in building alterations and extensions;.
 - c. Roofs should be constructed of natural materials or other sympathetic replica materials in keeping with the location and ensure consistency of size and style and a match in colour and texture.
2. Windows and doors
 - a. Windows and doors to visible elevations should be constructed of wood, or replica materials in proportion to the building and its neighbouring structures;
 - b. Traditional window styles and detailing should be maintained.
 - c. Where replacement windows or doors are essential they should maintain the style, colour, profile and proportion of the original..
3. Architectural features and materials
 - The architectural features of both new buildings and extensions should be sympathetic to existing buildings in the area. The use of non-traditional features such as decorated porches and bargeboard will not be supported.

Relates to CS2; CS19; SP15; SP23

CULTURAL HERITAGE

Policy CH1: Conservation Area

The scale, form, siting, design and materials of any development in the conservation area should preserve or enhance its character and appearance.

Relates to CS2; CS22; SP16; SP20

Policy CH2: Sites of Historical Importance

Development proposals should be designed and positioned to pay particular regard to the protection of listed buildings and scheduled monuments, and their settings, as described in Table 6.1 'Listed Buildings and Structures'.

The Plan identifies the following structures as non-designated heritage assets:

1. the finger post at the junction of Burley Road and Ashwell Road;
2. the bridge on Church Street.;
3. the ancient parish boundary as defined by its hedgerows and green corridors.

In weighing applications that directly or indirectly affect the three non-designated heritage assets, a balanced judgement will be required having regard to the scale of harm or loss, and the significance of the heritage asset.

Relates to CS2; CS22; SP20



RURAL SETTING

Policy RS1: Landscape Character

Development proposals should respond positively to the landscape character of the countryside and the rural setting and identified views as shown in Figure 8.2.

Development proposals which would have an unacceptable impact on the nature of Langham's rural setting and character, or fundamentally alter or detract from the identified views will not be supported.

Relates to CS2;CS4; CS16; CS21; CS23; SP6; SP7;SP13

Policy RS2 – Development in the Countryside

Development in the countryside will be restricted to proposals which would be supported by both national and local planning policies.

Relates to CS2; CS4; CS16; CS21; SP2; SP7; SP8; SP13; SP24

Policy RS3: Energy Generation in the Countryside

Only development proposals for small anaerobic digesters and small solar farms (up to 3MW) where the landowner owns, manages and uses the output themselves will be supported.

Relates to CS19; CS20; SP18



Policy RS4: Green Separation Zone

The Plan identifies a Green Separation Zone (GSZ) on the open countryside between the southern Planned Limits of development and the southern parish boundary (see Figure 7.7a).

Development proposals within the GSZ will only be supported where they would safeguard the existing separation of Oakham from Langham and retain its character and appearance.

Development proposals which would have an unacceptable impact on the integrity and openness of the Green Separation Zone and/or reduce the separation between Oakham and Langham will not be supported.

Relates to CS2; CS21; CS23; SP23

Policy RS5: Biodiversity

The Plan identifies the following important sites for biodiversity:

- both sides of Cold Overton Road between Pasture Farm and Ranksborough Farm;
- the ancient parish boundary hedgerow, notably to the western and southern sides;
- the borders of the canal;
- Loudall Lane;
- Munday's Close Wildlife Area;
- Royale Ranksborough Park – both trees and wildlife;
- the verge at the junction of Manor Lane and Ashwell Rd;
- the verges of Ashwell Rd;
- the grounds of the Methodist Church;
- Ruddle Way wildlife areas;

Development proposals should safeguard the identified important sites for biodiversity.

Development proposals which would have an unacceptable impact on the important sites for biodiversity will not be supported.

Insofar as the identified important sites for biodiversity act as wildlife corridors, any development proposals in the immediate locality should enable and ensure the safe and natural passage of animals along and within the corridor concerned.

Development proposals affecting the identified important sites for biodiversity whose primary objective is to conserve or enhance biodiversity will be supported.

Relates to CS21; CS23; SP19

VILLAGE CHARACTER

Policy VC1 Important Open Green Spaces

The Plan designates protected Open Green Spaces and Frontages within the Planned Limits of Development (see Figure 8.1) to which Policy CS23 of the Core Strategy and Policy SP21 of the Sites and Allocations PDP will apply.

Frontages to new developments should be in keeping with existing development and the wider character of the area. The use of traditional boundary treatments such as hedges and walls will be supported.

Development proposals should safeguard the protected views within the village as shown on Figure 8.2. Development proposals which would have an unacceptable impact on the protected views will not be supported.

Relates to CS2; CS23; SP21



Policy VC2: Gardens and Verges

Development proposals should protect and maintain the character and appearance of the village by paying attention to:

1. The important contribution to the character of Langham made by front gardens. A particularly important contribution to the character of the village is made by:
 - a. the land surrounding the Manor House;
 - b. the grounds of the Old Hall;
 - c. the front garden of The Limes;
2. The protected status of trees of historical or amenity value as listed in RCC's Tree Protection Order (TPO) list;
3. The preservation of ancient hedgerows and verges which include:
 - a. the remaining hedge that defines the Planned Limits of Development of the village;
 - b. the hedge and verge of Penman's Field;
 - c. the northern verge on Manor Lane near Ashwell Road;
 - d. hedges that feature as frontages to gardens, public footpaths and roads that help define the character of the street.

Relates to CS2; CS19; CS21; CS23; SP15

Policy VC3: Street Character

As appropriate to their scale, nature and location, development proposals should preserve and/or introduce features characteristic of the village such as walls, boundaries, driveways, pavements, kerbing, signage, lighting, street furniture and advertising, as identified in Table 8.2.

Relates to CS2; CS19; SP15; SP16; SP17





LNP 2022 - 2041

10. Associated Proposals

10. Associated Proposals

1. When writing the LNP in 2015, there were many points made by the community which they wanted to include in the Plan in order that they would be addressed.
2. They were, however, not planning issues per se and so could not be included in the Policies of that document.
3. They were seen as directives for Langham Parish Council and so were labelled 'Proposals' and have provided LPC with a helpful list of community priorities either to address directly, or to remember when dealing with related issues.
4. In this document we have decided to group these Proposals together rather than space them throughout the Plan, thus providing LPC with a concise aide-memoire.

SUSTAINABLE GROWTH

Proposal SG1: Developer Liaison

Work to identify any potential developer in order that, should they not approach LPC in the very early stages of planning, that LPC (LPC) approaches them in order to influence the ultimate size, shape and design of that development, in line with the LNP.

Proposal SG2: Section 106 Spend

Ensure, when any new development gets planning permission, that details around the following are well considered:

- availability of jobs nearby;
- impact on the road system, both A606 and village roads;
- school places;
- capacity of Oakham medical practice;
- capacity of sewage works.

Proposal SG3: Considerate Development

Ensure that developers consider and mitigate any negative impact on local community or wildlife. For example, a wildlife zone for animals and plants, a buffer and single storey homes near vulnerable communities.

Proposal SG4: Community Consultation

Ensure the community is informed and consulted on larger developments in the village in order that LPC comments are well supported..

Proposal SG5: CIL Money

Ask ideas from the community as to where best to spend this money. Alternatively offer options from which the community can choose.

Proposal SG6: Retrospective Planning

Langham Parish Council will use its best endeavours to urge RCC to enforce existing Planning Policy consistently and specifically in regard to activity that has been carried out without the necessary prior Planning Application being submitted.

The NPPF speaks of a council's '*power to counter deliberate deception or concealment to avoid planning regulations*'.

Proposal SG7: Traffic on the A606

The NPPF and Core Strategy emphasise the importance of making the roads safer, so contributing to a strong and safe community. Every effort must be made to take action to ;

- reduce speed and volume of traffic;
- reduce noise, vibration and air pollution from traffic;
- increase safety for pedestrians and car users who feel unsafe crossing, entering or negotiating the A606 on a daily basis.

Proposal SG8: Langham Bypass

Ensure that the tenuous plans for a Langham Bypass, along with its preferred route, are kept front of mind and raised as a key consideration at the right moments.

Proposal SG9: Safety of Village Roads

LPC should ensure that the parking of cars on village roads does not impede access at all times for emergency vehicles, public transport and homeowners.

It is further required that LPC actively looks for opportunities to;

- reduce the size, volume and speed of traffic on village roads;
- ensure pavements are repaired;
- ensure weight and speed restrictions are enforced;
- improve the congestion outside the school along Burley Rd.

CULTURAL HERITAGE

Proposal CH1: Village Conservation Status

Langham Parish Council to ensure that the conservation status of Langham is preserved and that every effort is made to gain Conservation Status for the immediate countryside around the Planned Limits of Development to protect the setting of the Conservation Village.

Proposal CH2: Ancient Parish Boundary

LPC to ensure that the:

- condition of Loudall Lane is improved, particularly with respect to restoring ancient hedgerow to protect and preserve Langham's northern ancient parish boundary;
- integrity of the ancient parish boundary/green corridor is maintained;
- boundary between Rutland Agricultural Society land and Langham Parish is clearly defined by restoration of the ancient hedgerow, and the possible planting of trees.

RURAL SETTING

Proposal RS1: Protecting Rights of Way

Grant of planning permission for any development includes the protection of the existing Rights of Way network throughout Langham parish and should, where possible, provide a contribution to the maintenance and enhancement of this network.

Proposal RS2: Upgrading Rights of Way

Every effort should be made to take advantage of offers to upgrade or improve footpaths and bridleways, for example:

- reclassify E146 as a Bridleway (to link with bridleway E145 Loudall Lane);
- re-classify E148 as a Bridleway (Sewage works to Langham Lodge, and onward);
- link bridleways E146 and E148.

Proposal RS3: Maintenance of Rights of Way

The Parish Council should be proactive in encouraging early action by RCC or other appropriate authority on the following proposals, advising on priorities:

- summer clearance of seasonal vegetation where it may obstruct a Right of Way;
- Loudall Lane should be returned to its original width of 30ft; to make the lane suitable for both pedestrian and horse traffic. The surface should be restored;
- the possibility of a circular Right of Way, including E151, should be investigated. The route could be E151 Cold Overton Road to Ranksborough Drive; turn left to Ranksborough Hall; turn left and return to road via 'track. However, consideration of impact on vulnerable residents must be a priority;
- the path between Manor Lane and Squires Close should be designated as an official Right of Way and raised, together with E149 and the first section of E148 to limited mobility standards;
- re-classify D85 as a Bridleway, at least from the county boundary to the Equestrian Centre; the possibility of extension to the Cold Overton Road should be investigated;
- the Ashwell Road should be made safer for walkers, cyclists and horse riders, for example by giving the above groups priority and imposing a 20mph speed limit;
- an updated version of the Rutland Heritage Trail guidebook/leaflets should be published by the RCC on an appropriate website.

Proposal RS4: Dog Walking

Given the need identified by villagers for a designated dog-walking space, the Parish Council should look for suitable such areas that can be easily maintained.



LNP 2022 -2041

11. CROSS REFERENCING POLICIES

11. Policy comparison

This section shows how every Policy in this Plan is related to RCC documents – Core Strategy 2011 (CS), Site Allocations & Policy Development Plan 2011 (SAPDP) and the withdrawn draft Rutland Local Plan 2021 (RLP). It also shows how the Policies of this Plan relate to those in the 2017 Langham Neighbourhood Plan (LNP).

LNP 2022 vs. LNP 2017

Table 11.1: How new Policies in 2022 LNP relate to previous Policies in LNP2017

2022 Policy	Heading	Content	2017 Policy (& Proposal)
SG1	Housing Allocation	Estimate of the number of new houses needed over the next 19 years in Langham.	HR1a,HR1b
SG2	Meeting Housing Needs	Ensuring the type of new housing is right for the present and future demographic.	HR2b, HR1c
SG3	Site Allocation	Indicating where in Langham housing development should be located.	HR2b, HR3a; HR3b
SG4	Climate Change & Flooding	Ensuring development does not exacerbate the flooding issue Langham has, and recognising climate change will increase flooding.	PSS5; Proposal NE2
BD1	Buildings & Materials	Ensuring construction materials for new builds and extensions are consistent with or complementary to the Conservation Village	D3a(i.ii.iii.vi.vii), D3h; Policy NE5a
BD2	Housing Density & Layout	What density of housing is acceptable and the layout of housing developments that fit the village character.	HR2c, HR4a, HR4b, D2, D3a(iv), D3b
BD3a	Water Quality & Management	Ensuring ground water and foul water are dealt with properly and reminding people that surfaces such as drives must be porous.	PSS5
BD3b	Promoting Internet Access	Looking to ensure new homes have access to broadband at a speed that will last 20 years of improvement.	Proposal PSS4
BD3c	Energy Efficient Design	Building new homes that are energy efficient and work towards being carbon neutral	Proposals NE5a, NE5b
BD4	Architectural Features	Ensuring that doors, windows, chimneys etc are all consistent with the design criteria for Conservation Village	D3a(v,viii), D3d, D3e

Table 11.1: Continued

CH1	Conservation Area	Protecting the status of Conservation Village and Article 4 Direction	CH1, Proposal CH1
CH2	Sites of Historical Importance	Identifying those sites and structures that have historical significance and so should be protected.	CH2, D3a(i), Proposals CH2, D1(ii), D4c(iv)
RS1	Landscape Character	Protecting the setting of Langham Village in a Parish of beautiful countryside, picturesque views and great walks.	D1b; Proposal NE1a
RS2	Development in the Countryside	Recognising that some development will occur in the countryside, but describing what will and will not be acceptable.	HR1c; Proposal NE5c
RS3	Energy Generation in the Countryside	What types of energy generation is acceptable in Langham	Proposal NE5c
RS4	Green Separation Zone	Protecting Langham from being consumed by the spread of Oakham by keeping a buffer zone of no building.	HR2a
RS5	Biodiversity	Identifying and preserving areas that are important habitat of green corridors for wildlife.	Proposals NE4a,b,c
VC1	Important Open Green Space	Within the PLD, identifying green spaces and verges that cannot be built on	HR2b, D1a(ii), D1b, Proposal NE3a
VC2	Gardens and Verges	The importance of open front gardens and roadside verges to the overall character of the village	D3f, D3c(ii), Proposals D2b, NE4d
VC3	Street Character	Managing the proliferation of lights, street furniture, road signs, adverts etc that come with growth.	D3b, D3c, D3g; Proposals D2a, D4a, D4b, D4c(i,ii,iii), D5

LNP 2022 vs. CS 2011 & SAPDP 2014

Table 11.2: How Policies in 2022 LNP relate to RCC's Core Strategy 2011 (CS) & Site Allocations and Policy Development Plan 2014 (SAPDP) Policies.

LNP Policy		RCC Policies to which LNP Policy Relates	
		Core Strategy (CS)	SAPDP (SP)
SG1	Housing Allocation	CS1;CS3; CS9	
SG2	Meeting Housing Needs	CS1: CS2; CS4: CS7; CS10; CS11	SP9
SG3	Site Allocation	CS1: CS2; CS4	SP1; SP2; SP5; SP15; SP21
SG4	Climate Change and Flooding	CS1: CS19	SP1
BD1	Buildings and Materials	CS1; CS2; CS19	SP15
BD2	Housing Density and Layout	CS10; CS23	SP15; SP21; SP23
BD3a	Water Quality and Management	CS1:CS2; CS19	SP1
BD3b	Promoting Internet Access	CS13	SP14
BD3c	Energy Efficient Construction	CS1; CS2; CS18; CS19; CS20	SP1
BD4	Architectural Features	CS2; CS19	SP15: SP23
CH1	Conservation Area	CS2; CS22	SP16; SP20
CH2	Sites of Historical Importance	CS2; CS22	SP20
RS1	Landscape Character	CS2; CS21; CS23	SP23
RS2	Development in the Countryside	CS1: CS2; CS4: CS16; CS21; CS23	SP2; SP5; SP6; SP7; SP8; SP13; SP19: SP24
RS3	Energy Generation in the Countryside	CS1: CS19; CS20	SP7; SP18
RS4	Green Separation Zone	CS2; CS21; CS23	SP23
RS5	Biodiversity	CS1: CS21; CS23	SP19
VC1	Important Open Green Spaces	CS1; CS2; CS23	SP21
VC2	Gardens and Verges	CS2; CS19; CS21; CS23	SP15
VC3	Street Character	CS2; CS19	SP15; SP16; SP17

LNP 2022 vs. withdrawn draft RLP 2021

It is recognized that this section is based on assumptions made by the Langham Neighbourhood Plan Steering Group (LNPSG), but it was felt that this analysis would be helpful even if not required.

The following is a list of all the Policies in the withdrawn draft RLP. Beside each is the assessment, by the LNPSG of :

1. its relevance to Langham
2. its likelihood to remain relevant in the new emerging LNP.

Table 11.3: How Policies in 2022 LNP relate to RCC's withdrawn draft Rutland Local Plan 2021

LNP 2022 Policies		Policies in withdrawn draft RLP
SG1	Housing Allocation	SD1; SD2; H1; EN2; SC1
SG2	Meeting Housing Needs	SD1; SD2; H6; H8; H9; EN2; SC1
SG3	Site Allocation	SD1; SD2; SD3; EN2; EN3; EN12; EN15; H1; SC1
SG4	Climate Change and Flooding	SD1; EN3; EN4; EN5; EN6
BD1	Buildings and Materials	SD1; SD2; EN1; EN3; EN4
BD2	Housing Density and Layout	H5; H6; EN1; EN3; EN10
BD3a	Water Quality and Management	SD1; SD2; EN3; EN4; EN5
BD3b	Promoting Internet Access	EN4; SC3
BD3c	Energy Efficient Construction	SD1; SD2; EN3; EN4
BD4	Architectural Features	SD2; EN3
CH1	Conservation Area	SD2; EN15; EN16
CH2	Sites of Historical Importance	SD2; EN15; EN16
RS1	Landscape Character	SD2; EN1; EN9; EN10
RS2	Development in the Countryside	SD1; SD2; SD3; SD4; E4; E8; EN1; EN2; EN8; EN9; EN10
RS3	Energy Generation in the Countryside	SD1; SD5; EN1; EN2; EN3; EN8; EN9
RS4	Green Separation Zone	SD2; EN1; EN9; EN10
RS5	Biodiversity	SD1; EN1; EN9
VC1	Important Open Green Spaces	SD1; SD2; SD3; H5; EN10; EN12; EN13
VC2	Gardens and Verges	SD2; EN3; EN9; EN10
VC3	Street Character	SD2; EN3; EN13; EN17; EN18

The number references to the Policies from the withdrawn draft RLP 2021 are very likely to change so below are the titles of those Policies.

Table 11.4: Relevant Policies from withdrawn draft RLP 2021

Policy in withdrawn draft LNP 2021		Relevant to Langham	Likely to appear unchanged in emerging LNP
E1	New provision for industrial and office development and related uses	No	Yes
E2	Expansion of existing businesses	No	Yes
E3	Protection of existing employment sites	No	Yes
E4	The rural economy		
E5	Local visitor economy	No	Yes
E6	Rutland Water	No	Yes
E7	Eyebrook Reservoir area	No	Yes
E8	Caravans, camping. Lodges, log cabins, chalets & similar forms of self-serviced holiday accommodation	No	Yes
E9	Town centres and retailing	No	Yes
E10	Primary and secondary shop frontages	No	Yes
E11	Sites for retail development	No	Yes
EN1	Landscape character impact	Yes	Yes
EN2	Space shaping principles	Yes	Yes
EN3	Delivering good design	Yes	Yes
EN4	Sustainable building and construction	Yes	Yes
EN5	Surface water management, water supply, foul drainage and SuDs	Yes	Yes
EN6	Reducing risk of flooding	Yes	Yes
EN7	Pollution control	Yes	Yes
EN8	Low carbon energy generation	Yes	Yes
EN9	The natural environment	Yes	Yes
EN10	Blue and green infrastructure	Yes	Yes
EN11	Protecting agricultural land	Yes	Yes
EN12	Important open spaces and frontages	Yes	Yes
EN13	Designated local green spaces	Yes	Yes
EN14	Provision of new open space	Yes	Yes
EN15	The historic and cultural environment	Yes	Yes
EN16	Protecting heritage assets	Yes	Yes
EN17	Advertising	Yes	Yes
EN18	Outdoor lighting	Yes	Yes
H1	Sites for residential development	Yes	No
H2	St George's garden community development and delivery principles	No	No
H3	St George's garden community development requirements	No	No

Table 11.4: Continued

Policy in withdrawn draft LNP 2021		Relevant to Langham	Likely to appear unchanged in emerging LNP
H4	Cross-boundary development opportunity – Stamford North	No	Yes
H5	Housing Density	Yes	Yes
H6	Meeting all housing needs	Yes	Yes
H7	Accessibility standards	Yes	Yes
H8	Self-build and custom house building	Yes	Yes
H9	Affordable housing	Yes	Yes
H10	Rural exception housing	No	Yes
H11	Gypsies and travellers	Yes	Yes
MIN1	Spatial strategy for minerals and development	No	Yes
MIN2	Mineral provision	No	Yes
MIN3	Safeguarding Rutland’s mineral resources	No	Yes
MIN4	Development criteria for mineral extraction	No	Yes
MIN5	Site-specific allocations for the extraction of crushed rock	No	Yes
MIN6	Site-specific allocations for the extraction of building stone	No	Yes
MIN7	Safeguarding of mineral development	No	Yes
MIN8	Borrow pits	No	Yes
MIN9	Development criteria for other forms of mineral development	No	Yes
MIN10	Restoration and aftercare	No	Yes
SC1	Delivering healthy, safe and inclusive communities	Yes	Yes
SC2	Securing Sustainable transport	No	Yes
SC3	Promoting fibre to the premises broadband (FTTP)	Yes	Yes
SC4	Developer contributions	No	Yes
SD1	Sustainable development principles	Yes	Yes
SD2	The Spatial Strategy for Development	Yes	Yes
SD3	Development within the PLD	Yes	Yes
SD4	Residential development in the countryside	Yes	Yes
SD5	Non-residential development in the countryside	Yes	Yes
SD6	Re-use of military bases and prisons	No	Yes
SD7	Use of military bases and prisons for operational or other purposes	No	Yes
WST1	Waste management and disposal	No	Yes
WST2	Waste-related development	No	Yes
WST3	Sites for waste management and disposal	No	Yes



LNP 2022 - 2041

12. MONITORING, EVALUATION & REVIEW

11. Monitoring, Evaluation & Review

The Neighbourhood Plan sets out the long- term spatial vision for Langham Parish with agreed objectives and policies to deliver the vision in the period up to 2041.

As such, this process is essential to ensure ongoing, mutually reinforcing and accountable relationships between all those with responsibility for delivering the Plan.

Effective monitoring is a key component in achieving sustainable development and safe, sustainable communities. It provides crucial information to establish what is happening now and whether policies are working.

For Langham's Neighbourhood Plan (LNP) the monitoring and review process will ensure two things:

1. The LNP remains, over its 20 year life, aligned with the evolving National and Local Planning Documents.;
2. The Policies required in this Plan are being delivered in a timely manner.

To address the first, it is proposed that the LNP is reviewed against any newly issued or updated National or Local Plans. The Parish Council will assess the need or otherwise for a review of the Plan within six months of the adoption of the Rutland Local Plan or January 2027 (whichever date is first). Thereafter the need or otherwise for the Plan to be reviewed will be assessed every five years.

To address the second, the monitoring and review process will check that appropriate progress has been made against the agreed targets for each of the key policies. This will be done annually in May every year, with a report on progress being made yearly, to the community, at the annual Parish Meeting. If progress is not on target for any policy, then the Parish Council will take action to put it back on track.



LNP 2022 - 2041

13. BASIC CONDITIONS STATEMENT

Summary of Basic Conditions Statement for Langham Neighbourhood Plan 2022.

1. Legal Requirements

- 1.1 This Statement has been prepared by Langham Parish Council to accompany its submission to the local planning authority of Rutland County Council of the 2022 Langham Neighbourhood Development Plan (“the Neighbourhood Plan”) under Regulation 15 of the Neighbourhood Planning (General) Regulations 2012 (“the Regulations”).
- 1.2 The Neighbourhood Plan has been prepared by the Parish Council of Langham, a qualifying body, for the Neighbourhood Area covering the Parish of Langham and defined by the parish boundaries as designated by Rutland County Council in December 2015. This LNP replaces the 2017 LNP.
- 1.3 The policies described in the Neighbourhood Plan relate to the development and use of land in the designated Neighbourhood Area only. The plan period of the Neighbourhood Plan is from 2022 to 2041 and it does not contain policies relating to excluded development in accordance with the Regulations.
- 1.4 The Statement addresses each of the four ‘basic conditions’ required of the Regulations and explains how the Neighbourhood Plan meets the requirements of paragraph 8 of Schedule 4B to the 1990 Town & Country Planning Act.
- 1.5 The Regulations state that a Neighbourhood Plan will be considered to have met the basic conditions if,
 - having regard to national policies and advice contained in guidance issued by the Secretary of State, it is appropriate to make the neighbourhood development plan;
 - the making of the neighbourhood development plan contributes to the achievement of sustainable development;
 - the making of the neighbourhood development plan is in general conformity with the strategic policies contained in the development plan for the area of the authority (or any part of that area);
 - the making of the neighbourhood development plan does not breach, and is otherwise compatible with, EU obligations.

2. Introduction and Background

- 2.1 The 2017 Langham Neighbourhood Plan was produced by the community of Langham.

2.2 In 2019 it was decided to review, renew and amend this document for the following reasons:

- the 2017 LNP would need to be reviewed in 2022 at its five year anniversary, so work needed to start in 2019 to achieve this;
- Rutland County Council was working on its emerging Local Plan for 2021 as its Core Strategy 2011 was very out of date;
- the NPPF and government legislation has changed with more emphasis placed on climate change, biodiversity, design and wellbeing.

2.3 A small Steering Group led the project under the authority of Langham Parish Council and engaged the community throughout, both as contributors to the writing of the plan, and as reviewers of progress.

2.4 The draft of the 2022 LNP and its support documents were sent to the community and stakeholders for review on 1st December 2021 – with comments received back by 30th January 2022, and incorporated in minor amendments to the document.

2.5 RCC informed the Steering Group that an SEA was required –it was written and a three week consultation was carried out between 14th March and 5th April 2022 where Natural England, Historic England, The Environment Agency and Rutland County Council were asked to comment on the document.

2.6 The SEA, along with the LNP and Support document, the Basic Conditions Statement and the Public Consultation Report, was sent to RCC on Wednesday 6th April 2022.

3. Conformity with National Planning Policy

3.1 The Neighbourhood Plan has been prepared with regard to national policies as set out in the National Planning Policy Framework (NPPF) of April 2012, reviewed July 2021. It is also mindful of the National Planning Practice Guidance (NPPG) published by the Government in April 2014 in respect of formulating neighbourhood plans. All Policies align to National Policies as detailed in this document.

3.2 Set out in Table 1 in the main text of Support Document SDL10 'Basic Conditions Statement' is detail of alignment of the LNP Policies to policies in the NPPF 2021.

4. General conformity with the Strategic Policies of Rutland County Council

4.1 The development plan for Rutland comprises two documents - the Core Strategy (CS) 2011 and the Site Allocations and Policy Development Plan (SAPDP) 2014. There is an emerging new Rutland Local Plan which will be available in the next few years. Reference has also been made to Policies in the pre-submission draft 2021 of the Rutland Local Plan that was withdrawn in September 2021, even though this is not a requirement of this document.

4.2 The Neighbourhood Plan has been prepared to ensure its general conformity with the development plan for Rutland and that alignment is detailed in Table 1 in the Support Document SDL10 'Basic Conditions Statement'.

5. Contribution to Achieving Sustainable Development

5.1 A Sustainability Appraisal has been undertaken at the instruction of Rutland County Council because sites have been allocated for development in the Langham Neighbourhood Plan.

5.2 The SEA describes how the policies of the LNP deliver sustainable development through the seven Key Assessment Criteria for Sustainable Development and shows that the Langham Neighbourhood Plan delivers Sustainable Development through its policies.

5.3 A three-week consultation with the key stakeholders was carried out on the SEA, with none of the three agencies (Natural England, Historic England and The Environment Agency) requiring any modifications.

6. Compatibility with EU Obligations and legislation

6.1 The Langham Neighbourhood Plan has regard to the fundamental rights and freedoms guaranteed under the European Convention on Human Rights and complies with the Human Rights Act.

6.2 The Neighbourhood Area is not in close proximity to any European designated nature sites so does not require an Appropriate Assessment under the EU Habitats Regulations.

It is a legal requirement that Langham Parish Council submit this statement. It confirms that the submitted Langham Neighbourhood Plan 2022 meets the basic conditions required of a neighbourhood plan as defined in current neighbourhood planning legislation.

This statement was approved at a meeting of the Langham Parish Council held on 29th March 2022 to accompany the draft LNP2022 and support documents, the SEA and the Statement of Public Consultation (detailed in Support document SDL2 'Public Consultation Report').



Signed:.....

Date...29 March 2022

Brenda Palmer
Chair of Langham Parish Council



LNP 2022 -2041

APPENDICES

Appendix 1: Glossary

Most Commonly Used

CS	Core Strategy
C1	Policy in Core Strategy
LNP	Langham Neighbourhood Plan
LNPSG	LNP Steering group
LPC	Langham Parish Council
NP	Neighbourhood Plan
NPPF	National Planning Policy Framework
PLD	Planned Limits of Development
RCC	Rutland County Council
SAPDP	Site Allocations & Policy Development Plan
SP1	Policy in SAPDP

Sections of LNP

SG	Sustainable Growth
BD	Building Design
CH	Cultural heritage
RS	Rural Setting
VC	Village Character

Other

CIL	Community Infrastructure Levy
DAS	Design and Access Statement
EA	The Environment Agency
FIT	Feed-in Tariffs
GSZ	Green Separation Zone
HGV	Heavy Goods Vehicle
IGS	Important Green Space
LGS	Local Green Space
LRWT	Leicestershire and Rutland Wildlife Trust
LSC	Local Service Centre
RAS	Rutland Agricultural Society
RHI	Renewable Heat Incentives
RSFRA	Rutland Strategic Flood Risk Assessment
SDL	Support Document for LNP
SEA	Strategic Environmental Assessment Rutland
SuDs	Sustainable Drainage System
TPO	Tree Preservation Orders

Appendix 2: Support Documents, Langham (SDL)

SDL1	Summary of Policies
SDL2	Consultation & Responses
SDL3	Climate Change – Energy Efficiency & Water Management
SDL4	Sustainable Growth and Site Allocation
SDL5	Building Design
SDL6	Cultural Heritage
SDL7	Rural Setting
SDL8	Village Character
SDL9	Associated Proposals
SDL10	Basic Conditions Statement
SDL11	Langham Maps
SDL12	SEA

Appendix 3: Stakeholders/Consultees.

Name	Organisation	Email
Mr Stewart Patience	Anglian Water	spatience@anglianwater.co.uk
General	Anglian Water	planningliaison@anglianwater.co.uk
Andrew Pritchard	East Midlands Council	andrew.pritchard@emcouncils.gov.uk
General	East Midlands Council	info@emcouncils.gov.uk
General	EE (Mobile operator)	public.affairs@ee.co.uk
Ms Nicola Farr	Environment Agency	LNplanning@environment-agency.gov.uk
Eri Wong	Highways England	eri.wong@highwaysengland.co.uk
Martin Seldon	Highways England	martin.seldon@highwaysengland.co.uk
General	Highways England	planning@highwaysengland.co.uk
General	Historic England	e-midlands@historicengland.org.uk
Emilie Carr - Historic England	Historic England	emilie.carr@historicengland.org.uk
General	Homes England	enquiries@homesengland.gov.uk
General	Melton Borough Council	planningpolicy@melton.gov.uk
General	National Grid	nationalgrid.uk@avisonyoung.com
General	National Grid (development liaison officer)	box.landandacquisitions@nationalgrid.com
General	National Grid (via Wood plc)	n.grid@woodplc.com
Natural England	Natural England	consultations@naturalengland.org.uk
Mrs Roslyn Deeming	Natural England	Roslyn.Deeming@naturalengland.org.uk
Sean Mahoney	Natural England	sean.mahoney@naturalengland.org.uk
Adhvait Sheth	NHS E Leicestershire and Rutland Clinical Commissioning Group	Adhvait.Sheth@EastLeicestershireandRutlandccg.nhs.uk
Jo Clinton	Natural England	Joanna.Clinton@westleicestershireccg.nhs.uk
General	NHS Property Services	localplans.midlandsandeast@property.nhs.uk
Mr Chris Bramley	Severn Trent	Chris.Bramley@severntrent.co.uk
General	Severn Trent	GrowthDevelopment@severntrent.co.uk
General	The Mobile Operators Association	dpm@monoconsultants.com
Alan Smith	Wildlife Trust	northamptonshire@wildlifebcn.org
Langham Neighbouring Parish Councils/meetings		
Ashwell		ashwellpc@gmail.com
Burley		gerryrob82@gmail.com
Oakham		enquiries@oakhamtowncouncil.gov.uk
Whissendine		whisspcclerk@gmail.com

Appendix 4; Reference Documents

- Accessibility Standards Study Feb 2017
- Conservation of Habitats and Species regulations 2017
- Core Strategy (date)
- Draft Rutland Local Plan (withdrawn but data still relevant)
- Garden Extensions SPD March 2015
- Guidance Notes for Design Codes
- Habitat Regulation Assessment, March 2020
- Important Open Spaces and Frontages Review July 2017
- Landscape Sensitivity and Capacity Study NW Oakham Dec 2018
- Landscape Sensitivity and Capacity Study, Land Around Local Service Centres March 2017
- Landscape Character Assessment Rutland March 2003
- National Design Guide
- National Model Design Code
- RCC Local Plan Habitats Regulations Assessment 2020
- Rutland Rights of Way Improvement Plan 2019-29
- Rutland County Council Regulation 19: Local Plan 2018-36, Feb 2020
- Site Allocations Policy Development Plan (date)
- Site Allocation Assessment Dec 2019 updated Jan 20209
- Site Allocations Document Dec 2019
- SK&R Design Guide
- SK&R Gypsy, Traveller and Travelling Show People Accommodation Assessment Aug 2016
- Small Windfall Housing Study July 2020
- Statement of Common Ground, Housing Market Area Partners
- Strategic Housing Market Assessment April 2017
- Strategic Housing Market Assessment, July 2019, Updated February 2020
- Strategic Housing Market Assessment (SHMA) Update 2019
- Strategic Flood Risk Assessment May 2009
- Strategic Flood Risk Assessment Update April 2020
- Sustainability Appraisal for Rutland Local Plan 2020
- Sustainability of Settlements Assessment Update Nov 2019
- Net Zero Strategy – Build Back Better
- Consultation Response – EV Charge Points in Residential and Non-residential Buildings

Appendix 5: National Planning Policy Framework and its Evolution 2012-2021

The National Planning Policy Framework (NPPF) sets out government planning policy for England. It was first published by the Department for Communities and Local Government (now the Ministry of Housing, Communities and Local Government (MHCLG)) on 27 March 2012.

2012 NPPF.

The NPPF dismantles the regional planning apparatus and introduces neighbourhood planning in order to create ‘... a framework within which local people and their accountable councils can produce their own distinctive local and neighbourhood plans, which reflect the needs and priorities of their communities.’

The framework states that the purpose of planning is to help achieve sustainable development. It defines three mutually dependent dimensions to sustainable development:

- Economic.
- Social.
- Environmental.

The original NPPF sets out 12 core principles that should underpin plan making and decision taking. Plan making and decision taking should:

1. be genuinely plan-led;
2. be a creative exercise, not just one of scrutiny;
3. be proactive in driving and supporting sustainable development;
4. seek and secure high quality;
5. take account of the diverse character of different areas;
6. support the transition to a climate-resilient, low-carbon economy;
7. contribute to conserving and enhancing the natural environment and reducing pollution;
8. encourage the use of brownfield land;
9. encourage mixed-use development;
10. conserve heritage;
11. maximise the use of public transport, walking and cycling;
12. support health, social and cultural wellbeing.

The framework then sets out detailed guidance under 13 subheadings that contribute to delivering sustainable development:

1. Building a strong, competitive economy.
2. Ensuring the vitality of town centres.
3. Supporting a prosperous rural economy.
4. Promoting sustainable transport
5. Supporting high quality communications infrastructure
6. Delivering a wide choice of high-quality homes.
7. Requiring good design
8. Promoting healthy communities
9. Protecting Green Belt land
10. Meeting the challenge of climate change, flooding and coastal change.
11. Conserving and enhancing the natural environment
12. Conserving and enhancing the historic environment.
13. Facilitating the sustainable use of minerals.

2018 revision

In July 2018, following the public consultation, the government published a revised NPPF. The new framework focusses on the following key areas:

- Promoting high-quality design for new homes and places.
- Offering stronger protection for the environment
- Constructing the right number of homes in the right places.
- Focusing on greater responsibility and accountability of councils and developers for housing delivery.

The revised framework will enable councils to refuse planning permission for any development that does not prioritise design quality or adequately complement its surroundings. It will also encourage councils to adopt new visual tools to promote better design and quality.

Councils will be able to use the new 'rulebook' to calculate the housing need for their community and deliver more housing when and where it is most needed. From November 2018, a Housing Delivery Test will be available, helping to drive up the number of homes delivered in an area. In terms of the environment, the framework was updated to further protect biodiversity by more closely aligning the planning system with Defra's 25-year Environment Plan. Not only does this plan protect habitats it also emphasises air quality protection in relation to development proposals.

2021 Revision

On 20 July 2021, updates were published to place greater emphasis on beauty, place-making, the environment and sustainable development and to underline the importance of local design codes.